



# **AGENDA**

## **Planning Commission**

REGULAR MEETING  
January 8, 2026  
**6:30 PM**  
Oakdale City Council Chambers

**1. INFORMAL DISCUSSION WITH CITY COUNCIL REGARDING ANNUAL WORK PLAN AND FUTURE OF THE PLANNING COMMISSION**

MOVE TO DAIS FOR CONTINUATION OF REGULAR BUSINESS AND BROADCASTING

**2. CALL TO ORDER**

**3. CALL OF ROLL**

**4. PLEDGE OF ALLEGIANCE**

**5. APPROVAL OF AGENDA**

**6. APPROVAL OF MINUTES**  
a. November 6, 2025

**7. PUBLIC HEARING**

**8. OPEN FORUM**

**9. PLANNING COMMISSION REVIEW**

a. **OLD BUSINESS**  
i. None

b. **NEW BUSINESS**  
i. Election of Commission Chair and Vice Chair  
ii. Public Hearing – Zoning Ordinance Amendments  
iii. Oakdale City Hall and Police Department Expansion and Renovation, 1584 Hadley Avenue North – Site Plan Amendment

**The next regular Planning Commission meeting will be held February 5, 2026 @ 7 PM in Council Chambers at Oakdale City Hall.**



# **AGENDA**

## Planning Commission

### **10. OTHER**

- a. Staff Liaison Update(s)\*
- b. Commissioner Update(s)\*
- c. Council Liaison Update(s)\*

### **11. ADJOURNMENT**

\*Items marked with an asterisk have no accompanying materials.

**The next regular Planning Commission meeting will be held February 5, 2026 @ 7 PM in Council Chambers at Oakdale City Hall.**

**MINUTES  
REGULAR MEETING  
OAKDALE PLANNING COMMISSION  
NOVEMBER 6, 2025**

The Oakdale Planning Commission held a meeting on Thursday, November 6, 2025 at Oakdale City Hall, 1584 Hadley Avenue North, Oakdale, Minnesota. The meeting began at 7:00 PM.

**CALL OF ROLL**

On a call of roll, the following were present:

Chairperson: Dallas Pierson

Commissioners: Tom Willenbring  
Yaya Diatta  
Mike McCauley  
Beau Wilson

Also Present: Luke McClanahan, City Planner  
Max Lohse, Community Development Specialist  
Gary Severson, Council Liaison  
Mike Mansfield, 7684 Stillwater Way N  
Dave Rebbelke, 7697 Stillwater Way N  
Dennis Foust, 7779 Stillwater Blvd N  
Gretchen and Troy Biddle, 2909 Hilo Ave N  
Barb Engle, 7784 Stillwater PI N  
Rich and Cheryl Geisbauer, 7680 Stillwater Way N  
CJ Randazzo, JACC Capital

Not Present: Christopher Campbell, Commissioner  
Chenayi Shava, Commissioner

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE AGENDA**

A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO APPROVE THE AGENDA AS PRESENTED.

VOTED IN FAVOR:

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	AYE
Commissioner Wilson	AYE

5 Ayes. Motion approved.

### **APPROVAL OF MINUTES**

A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO APPROVE THE MINUTES OF THE REGULAR MEETING OF AUGUST 7, 2025, AS PRESENTED.

#### **VOTED IN FAVOR:**

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	AYE
Commissioner Wilson	AYE

5 Ayes. Motion approved.

A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO APPROVE THE MINUTES OF THE REGULAR MEETING OF SEPTEMBER 4, 2025, AS PRESENTED.

#### **VOTED IN FAVOR:**

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	AYE
Commissioner Wilson	AYE

5 Ayes. Motion approved.

### **OPEN FORUM**

Chair Pierson invited comments from the audience. No comments were heard.

### **PLANNING COMMISSION REVIEW**

#### **a. OLD BUSINESS**

i. None

#### **b. NEW BUSINESS**

i. PUBLIC HEARING – KELLEY, 7684 STILLWATER WAY NORTH – CONDITIONAL USE PERMIT FOR AN OVERSIZED ACCESSORY STRUCTURE (SECOND GARAGE)

Community Development Specialist Max Lohse provided an overview of the Conditional Use Permit (CUP) request at 7684 Stillwater Way N. The zoning of the property is R-1 Low Density



Residential, where single family homes are permitted to have one garage and one additional accessory structure by right, and additional structures are permitted through the CUP process. The applicant is seeking to add a new garage building in the northeast corner of the lot, which they have stated would be used for recreational storage. The property as a whole is approximately one acre in size and contains a single family home with an attached garage.

The proposal is for a 30 foot by 50 foot second garage with 10 foot setbacks from the north and east property lines, which meets the requirements for the R-1 district. The applicant is not proposing a driveway, stating that the garage would be used for residential storage. The City has historically not required driveways for second garages intended for storage.

The preliminary garage plans show a two-story structure that is approximately 32 feet in height. Per the City Code, garages are required to be no higher than the existing home. The applicant will be required to revise the height of the structure to comply. Additionally, garage doors are required not to exceed 10 feet in height. To address this, staff has added a condition requiring that the garage door height be adjusted.

The garage footprint is a gross floor area of 2,100 square feet. The City Code does not specify a maximum size for second garages, only that such request must receive City Council approval through the Conditional Use Permit process.

Staff added a condition that the applicant shall not use the garage as a dwelling unit. Further, the City received comments regarding concerns with potential commercial uses occurring onsite. Staff are planning to add a condition for no commercial activities to occur onsite prior to City Council consideration, consistent with past CUPs.

Mr. Lohse provided an overview of the CUP review criteria for the request. He stated that staff find that the CUP review criteria has been satisfied, as detailed in the staff report on file. Staff recommend approval of the request, subject to conditions. The conditions include the garage meeting setback and height requirements, the garage not exceeding 2,100 square feet in size, the structure not being used as a dwelling unit, garage doors not exceeding 10 feet in height, the applicant obtaining a building permit, and the applicant removing any existing temporary accessory structures on site.

In response to a question from Commissioner Diatta, Mr. Lohse stated that the applicant describes the proposed structure being used primarily for storage purposes.

Chair Pierson invited the applicant to speak.

Mike Mansfield, 7684 Stillwater Way N, the applicant, expressed interest in the ability to exceed the 10-foot garage height requirement in order to store a recreational vehicle, but would be amenable to the 10-foot height limit if there are no other options.

Mr. Lohse explained to the Commission that staff would need to check with the City Attorney's Office if it is possible to allow flexibility regarding garage door height.

Chair Pierson opened the public hearing.

Dave Rebbelke, 7697 Stillwater Way N, expressed concerns about the compatibility of the proposed garage with the residential character of the area. Mr. Rebbelke said that the proposed garage, with the proposed dimensions, does not meet the CUP review criteria. The main concern with the structure is the proposed height, and he recommended that the building height be limited to 20 feet. He also expressed concern about utility connections to the building, a future driveway, and construction vehicle access.

Dennis Foust, 7779 Stillwater Blvd N, expressed concerns about the proposed building height and site access.

Gretchen and Troy Biddle, 2909 Hilo Ave N, expressed concern about the height of the proposed garage, taking into consideration the nearby solar panels.

Barb Engle, 7784 Stillwater Pl N, expressed concern that there are no other similar structures nearby. She also expressed concern about the potential for a new driveway.

Mike Mansfield, 7684 Stillwater Way N, noted that there are multiple houses throughout Oakdale that contain similar size garage buildings.

Dave Rebbelke, 7697 Stillwater Way N, disagreed that there are similar size garages throughout Oakdale.

Rich and Cheryl Geisbauer, 7680 Stillwater Way N, expressed concern about the proposed garage resulting in reduced sunlight onto their solar panels.

Dennis Foust, 7779 Stillwater Blvd N, stated that he is not opposed to allowing a taller garage door, but remains concerned about the orientation of the proposed garage and its height.

Mike Mansfield, 7684 Stillwater Way N, stated that he had already discussed reducing the height of the structure with City staff. He said that he was unaware of the concerns about the solar panels.

Chair Pierson closed the public hearing.

In response to a request from Chair Pierson, Mr. Lohse explained that an accessory structure cannot be taller than the height of the principal building.

In response to a question from Commissioner Willenbring, Mr. Lohse said that the nearby garage containing the solar panels is a one-story structure.

In response to a question from Commissioner Diatta, Mr. Lohse said that the Zoning Code does not specify maximum size for additional garages that are reviewed through the CUP process. Mr. Lohse also stated that the applicant's plans do not show a driveway extension to the proposed structure. If the Commission is interested in requiring a driveway extension, staff would check with the City Attorney's Office if that can be a condition of the permit. Mr. Lohse explained that garages are not subject to specific design standards, but there is a prohibition on pole barns.

In response to a question from Commissioner Willenbring, Mr. Lohse explained that generally property owners are allowed to grow trees to a mature height throughout their property. The City does not have specific standards for solar panels other than the standard setback requirements.

**A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO RECOMMEND APPROVAL FOR A CONDITIONAL USE PERMIT FOR AN OVERSIZED ACCESSORY STRUCTURE WITH CONDITIONS AT 7684 STILLWATER WAY NORTH.**

**VOTED IN FAVOR:**

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	NAY
Commissioner Wilson	AYE

**4 Ayes. 1 Nay. Motion approved.**

**ii. PUBLIC HEARING – JACC CAPITAL, 6138 HIGHWAY 36 BOULEVARD NORTH – REZONING, CONDITIONAL USE PERMIT, PRELIMINARY PLAT, FINAL PLAT, AND SITE PLAN FOR LIVE-WORK UNITS**

City Planner Luke McClanahan provided an overview of the request. The developer is requesting multiple land use approvals to build 12 live-work units, which combine residential space with an on-site work area for the occupant. The proposal involves a rezoning, conditional use permit, a preliminary plat, final plat, and a site plan.

Mr. McClanahan noted that in July 2025, the City Council amended the Comprehensive Plan to guide the property from Commercial to Mixed Use, allowing both residential and commercial uses. The site is currently zoned B-1 Commercial, and the developer is requesting rezoning to (MX) Mixed Use, where live-work units are a conditional use.

The proposal would re-plat the site into two lots, Lot 1 containing all 12 live-work units, and Outlot A which will be reserved for a future frontage road along Highway 36. Additionally, a portion of an unimproved alley on the west side of the site is proposed for vacation, which will require a separate formal application to the City. The developer must comply with the City's park dedication requirements.

In response to a question from Chair Pierson, Mr. McClanahan noted that a proposed stormwater pond will be established along the east portion of the site.

In response to a question from Commissioner Wilson, Mr. McClanahan stated that the build-out of the future frontage road is dependent on future intersection work at Highways 36 and 120 by Minnesota's Department of Transportation.

The proposed Live-Work Units require approval of a Conditional Use Permit (CUP) and are evaluated against seven general review criteria, all of which staff finds have been met. The proposal also satisfies the specific Live-Work standards. To further reduce potential impacts on surrounding properties, staff recommend additional CUP conditions, including limiting customer visits to appointments only, allowing no more than two non-resident employees, requiring all commercial activities to occur within the buildings, and restricting signage to one sign per unit not exceeding five square feet.

Mr. McClanahan stated that the Fire Department has reviewed and approved the private street and site layout. Staff recommend conditions of approval that involve prohibiting parking along the private street, and within the hammer-head turnaround and trash collection area; signage to prohibit snow storage in these areas; the trash collection area must be enlarged to function properly; parking standards are met; and a tree preservation plan is required. Additionally, the preliminary landscaping plan must be revised to add enhanced landscaping and screening along property lines that are adjacent to residential uses. The developer must also provide a photo-metric plan.

In response to a question from Commissioner Wilson, Mr. McClanahan stated that signage would be at the individual units, as opposed to being concentrated at the entrance of the site. For clarification, Mr. McClanahan noted that pylon signs would not be permitted at this site.

Mr. McClanahan stated that although sample elevations were submitted, the developer must also provide additional zoning information on the exterior building materials to demonstrate compliance with the Zoning Ordinance.

Staff recommended approval of the Rezoning, CUP, Prelim Plat, Final Plat, and Site Plan subject to conditions. Mr. McClanahan summarized the conditions of approval that are listed in the agenda packet.

Mr. McClanahan stated that City staff received one written comment from a member of the public noting concerns about the proposal. The written comment was forwarded to the Commission ahead of the meeting for consideration.

In response to a question from Commissioner Wilson, Mr. McClanahan explained that the condition of approval regarding business operations to be conducted within the structures is intended to limit impacts on nearby properties.

Chair Pierson invited the applicant to speak to the request.

CJ Randazzo, JACC Capital, explained that the proposed live-work units are popular in places like Montana. Likely occupants of the units would include trade workers who need storage space for their business vehicles but conduct their work primarily off site. Other occupants might desire additional storage space for items such as recreational vehicles.

Chair Pierson opened the public hearing. There were no public comments made. Chair Pierson closed the public hearing.

**A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO RECOMMEND APPROVAL OF THE REZONING FOR OAKDALE GARAGE LOFTS.**

**VOTED IN FAVOR:**

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	AYE
Commissioner Wilson	AYE

**5 Ayes. Motion approved.**

**A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO RECOMMEND APPROVAL OF THE CONDITIONAL USE PERMIT FOR OAKDALE GARAGE LOFTS.**

**VOTED IN FAVOR:**

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	AYE
Commissioner Wilson	AYE

**5 Ayes. Motion approved.**

**A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO RECOMMEND APPROVAL OF THE PRELIMINARY PLAT AND FINAL PLAT FOR OAKDALE GARAGE LOFTS.**

**VOTED IN FAVOR:**

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE

Commissioner Diatta	AYE
Commissioner Wilson	AYE

5 Ayes. Motion approved.

A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO RECOMMEND APPROVAL OF THE SITE PLAN FOR OAKDALE GARAGE LOFTS.

VOTED IN FAVOR:

Chair Pierson	AYE
Commissioner Willenbring	AYE
Commissioner McCauley	AYE
Commissioner Diatta	AYE
Commissioner Wilson	AYE

5 Ayes. Motion approved.

### iii. 2026 DRAFT PLANNING COMMISSION WORK PLAN

Mr. McClanahan provided an overview of the draft 2026 Planning Commission work plan. The plan is intended to guide the Commission throughout the next year. State statute, however, defines much of the Planning Commissions' role. Little has changed from the 2025 adopted work plan. One notable update is the forthcoming workshops for the 2050 Comprehensive Plan update.

For next steps, Mr. McClanahan said that staff will incorporate any feedback from the Commission into the work plan. Then it will be reviewed by the City Council.

The Commission had no objections to the draft work plan.

## OTHER BUSINESS

### i. Staff Liaison Updates

Mr. McClanahan provided updates on recent development applications. He also noted that it is likely that there will be a December Planning Commission meeting.

### ii. Commissioner Updates

None.

### iii. Council Liaison Updates

Council Member Severson provided updates on the City's 2026 budget levy, and noted the upcoming Truth in Taxation and final levy meeting will be held in December. Council Member

Severson noted the City made a \$10,000 donation to Open Cupboard in Oakdale. He also wished everyone a happy Veteran’s Day.

**ADJOURNMENT**

**A MOTION WAS MADE BY COMMISSIONER WILLENBRING, SECONDED BY COMMISSIONER WILSON, TO ADJOURN THE NOVEMBER 6, 2025, MEETING OF THE OAKDALE PLANNING COMMISSION AT 8:04 PM.**

**VOTED IN FAVOR:**

<b>Chair Pierson</b>	<b>AYE</b>
<b>Commissioner Willenbring</b>	<b>AYE</b>
<b>Commissioner McCauley</b>	<b>AYE</b>
<b>Commissioner Diatta</b>	<b>AYE</b>
<b>Commissioner Wilson</b>	<b>AYE</b>

**5 Ayes. Motion approved.**

Respectfully submitted,

Luke McClanahan,  
City Planner



## Process for the Election of Board Members/Commissioners

1. Nominate candidates for the Chairperson and Vice-Chairperson positions. Nominations do not require a "second", but other members may "second" the nomination to show support.

*"Motion to nominate Board Member/Commissioner\_\_\_\_\_ for the position of Chairperson."*

*"Motion to nominate Board Member/Commissioner\_\_\_\_\_ for the position of Vice-Chairperson."*

2. When there are no new nominations to be made someone should make a motion that nominations close. The motion to close requires a "second".

*"Motion to close nominations for the Chairperson and Vice-Chairperson positions."*

3. Election using the ballot provided. Board Members/Commissioners write in their choice from those nominated and pass the ballots to staff for tabulating.

4. Staff will announce results.

5. Election of Chairperson and Vice-Chairperson require a motion and a "second."

*"Motion to elect Board Member/Commissioner\_\_\_\_\_ for the position of Chairperson of the \_\_\_\_\_ for a period of one (1) calendar year, commencing with the [current date] meeting."*

*"Motion to elect Board Member/Commissioner\_\_\_\_\_ for the position of Vice-Chairperson of the \_\_\_\_\_ for a period of one (1) calendar year, commencing with the [current date] meeting."*

Assumption of the roles of Chairperson and Vice-Chairperson may commence immediately following the vote.





**Ballot**  
**[Board/Commission] Election of Chairperson & Vice-Chairperson**  
**[Meeting Date]**

Please write in your choice for Chairperson and Vice-Chairperson from those nominated tonight:

Chairperson: \_\_\_\_\_

Vice-Chairperson: \_\_\_\_\_

Votes will be tallied and announced immediately following the vote.



# PLANNING COMMISSION MEMO

<b>To:</b>	Oakdale Planning Commission
<b>Meeting Date:</b>	January 8, 2026
<b>Request(s):</b>	Amendments to the Zoning Ordinance
<b>Prepared/Presented:</b>	Max Lohse, Community Development Specialist Luke McClanahan, City Planner

## BACKGROUND

After a year-and-a-half-long effort to comprehensively update the City's Zoning Ordinance, the City Council adopted the revised Code on July 8, 2025. Following adoption, staff identified several portions of the Ordinance that require correction or clarification. Proposed amendments to address these issues were discussed during City Council workshop meetings on [September 23, 2025](#), and [October 14, 2025](#).

Proposed updates to the Ordinance include the following:

- Remove townhomes and courtyard cottages as permitted uses in the R-2 zoning district.
  - This change is proposed to create a more intentional transition between the R-2 district and higher density districts.
- Allow light manufacturing as a principal use in the B-2 zoning district.
  - This change is intended to broaden allowed uses in the B-2 Business Campus district to better reflect market conditions.
- Require higher exterior design standards for industrial uses in the B-2 Business Campus zoning district.
  - This change is intended to maintain the higher design standards of the B-2 Business Campus while allowing industrial uses in high-visibility locations.
- Clarify that a Conditional Use Permit is required for electronic signage in non-residential zoning districts.
- Correct a reference in the zoning map amendment section.
- Clarify specific setback requirements for accessory structures.
- Include specific review criteria for oversized accessory structures / secondary garages.
  - Specific review criteria were present in the previous code. Additional criteria are proposed to limit the scale, footprint, and number of accessory structures.

The draft ordinance amendments are attached to this memo. A "Red Line Edits" version of the amendments is also attached, which more clearly shows the proposed updates.

## ROLE OF THE PLANNING COMMISSION

The role of the Planning Commission is to hold the required public hearing for the proposed amendments to the Zoning Ordinance in order to gather public input and provide a recommendation to the City Council.

## RECOMMENDATION

Staff have determined that the proposed ordinance amendments are appropriate and are consistent with the City's Comprehensive Plan. Staff recommends approval of the ordinance and zoning map amendments.

**MOTION**

Motion to recommend approval of ordinance amendments to Chapter 25 – Zoning.

**Attachments:**

Draft Amendments to the Zoning Ordinance

Draft Amendments to the Zoning Ordinance with Red Line Edits

City of Oakdale  
ORDINANCE NO. \_\_\_\_

**AMENDING THE CODE OF ORDINANCES FOR THE CITY OF OAKDALE, CHAPTER 25  
RELATING TO ALLOWED USES IN THE R-2 AND B-2 ZONING DISTRICTS, CRITERIA FOR  
ELECTRONIC SIGNAGE AND ACCESSORY STRUCTURES, EXTERIOR DESIGN STANDARDS  
FOR THE B-2 ZONING DISTRICT, AND A CORRECTION TO THE APPLICATION REVIEW  
PROCEDURES**

The City Council of the City of Oakdale ordains:

**Section 1.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-03, Division 25-03-800, Section 25-03-802, is amended to read as follows:

Sec. 25-03-802.      Application

(a) The application for a Zoning Ordinance text or map amendment shall be made in accordance with Section 25-03-102 Application Submittal.

(b) Review Procedure

(1) The application for a Zoning Ordinance text or map amendment shall be processed using the procedure outlined in Section 25-03-103 Application Review Procedure, except that amendments to this Ordinance that are initiated by the Planning Commission shall not be reviewed by the Planning Commission.

(2) When the Planning Commission initiates the amendment, the City Council shall hold a public hearing following the process in Subsection 25-03-103(b) and review of the application shall follow the procedure in Subsection 25-03-103(d).

(3) An amendment that changes all or part of the existing classification of a zoning district from residential to commercial or industrial requires a two-thirds majority vote of all City Council members.

(c) Criteria for Approving a Text or Map Amendment. The Planning Commission and City Council shall consider possible effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following factors:

(1) The proposed amendment has been reviewed and found to be consistent with official comprehensive plan policies; and

(2) The proposed amendment can be accommodated with existing public services and will not overburden the city's service capacity.

(d) Procedure. The application for a ~~CUP~~ Text or Map Amendment shall be processed using the procedure outlined in Section 25-03-103 Application Review Procedure.

**Section 2.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-200, is amended to read as follows:

Division 25-05-200. District Intents.

The following statements specify the intents of the zoning districts established to regulate areas of the City considered appropriate for residential uses:

- (a) R-1 Large Lot Detached Residential District. The R-1 District is intended to provide for detached single-unit residences on larger lots. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (b) R-2 Low Density Residential District. The R-2 District is intended to provide for a variety of low density residential dwellings including single-unit dwellings and ~~smaller multi-unit dwellings such as~~ two-unit dwellings and townhomes within existing neighborhoods. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (c) R-3 Medium Density Residential District. The R-3 District is intended to provide for a mix of medium density residential uses including smaller lot single-unit dwellings, two-unit dwellings, townhomes, courtyard cottage developments, and small apartments. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (d) R-4 High Density Residential District. The R-4 District is intended to provide for a variety of higher density attached housing types including townhouses and apartments. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (e) R-5 Manufactured Home Park District. The R-5 District is intended to provide for manufactured home parks in an appropriate, safe, sanitary, and attractive environment.

**Section 3.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-300, Section 25-05-301, is amended to read as follows:

Sec. 25-05-301. Use Tables

- (a) Table 05-1 Principal Use Table – Residential Districts and Table 05-2 Accessory Use Table – Residential Districts list land uses and indicate whether they are permitted, permitted with standards, conditional, or prohibited in each zoning district. The following definitions shall be referenced when using Tables 05-1 and 05-2.
  - (1) Permitted Use – a “P” in a cell of the use tables indicates that the land use is allowed by right in the zoning district.
  - (2) Permitted with Standards Use – a “PS” in a cell of the use tables indicates that the land use is allowed in the zoning district provided it meets the certain use-specific standards as described in Article 25-09 Use-Specific Standards.
  - (3) Conditional Use – a “C” in a cell of the use tables indicates that the land use is allowed in the zoning district only upon approval of a conditional use permit as described in Article 25-03 Administration, Procedures, and Enforcement

and compliance with any applicable use-specific standards identified in Article 25-09 Use-Specific Standards.

- (4) Prohibited Use – a blank cell in the use tables indicates that the land use is prohibited in that zoning district.
- (b) In the event a proposed use is not listed in the use tables, the Community Development Director shall make a determination if the use is consistent by type, intensity, physical characteristics, style, size, and purpose with any use listed in Tables 05-1 and 05-2.
- (1) If the proposed use is found to be consistent with another listed use, the proposed use shall be treated the same as the similar one identified by the Community Development Director.
- (2) If the proposed use is not found to be consistent with any listed use, the Council, Planning Commission, or property owner may request an amendment to this Chapter to provide guidance for the proposed use.

Table 05-1. Principal Use Table – Residential Districts

Principal Use	Zoning Districts					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Residential						
Household Living						
Dwelling, single-unit detached	P	P	P			
Dwelling, two-unit		P	P			
Dwelling, attached townhouse or rowhouse		P	P	P		
Dwelling, small apartment (3-8 units)			P	P		
Dwelling, large apartment (9+ units)				P		
Courtyard cottage development		P	P			
Manufactured home park		C	C	C	P	See Section 25-05-501
Group Living						
Assisted living facility				P		
Continuum of care senior facility				P		
Long-term or transitional care facility				P		
Residential care facility, 6 or fewer persons	P	P	P			
Residential care facility, 7 to 16 persons		P	P	P	P	
Sacred community	P	P	P	P	P	
Sober home		P	P			
Commercial						
Kennel, private	C	C	C			See Division 25-09-100
Public & Institutional						

Principal Use	Zoning Districts					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Day care facility, 12 or fewer persons	P	P	P			
Day care facility, 13-16 persons		P	P	P	P	
Government use	C	C	C	C	C	
Place of worship	C	C	C	C	C	
School, elementary, middle, or secondary	C	C	C	C	C	
<b>Entertainment &amp; Recreation</b>						
Public recreational facility	C	C	C	C	C	
Public park or playground	C	C	C	C	C	
<b>Agriculture &amp; Forestry</b>						
Agriculture	P					
<b>Utilities &amp; Transportation</b>						
Essential service facility	PS	PS	PS	PS	PS	See Division 25-09-100

Table 05-2. Accessory Use Table – Residential Districts

Accessory Use	Zoning District					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Accessory agricultural building	P					
Accessory building	PS	PS	PS	PS	PS	See Division 25-09-200
Accessory dwelling unit	C	C	C			See Division 25-09-200
Animal keeping	PS	PS	PS	PS	PS	See Chapter 4
Antenna and/or telecommunication support structure	C	C	C	C	C	
Cemetery	PS	PS	PS	PS	PS	See Division 25-09-200
Construction-related temporary use	P	P	P	P	P	
Day care facility, group family	P	P	P			
Electric vehicle charging station	PS	PS	PS	PS	PS	See Section 25-10-308
External solid fuel-fired heating device	PS	PS	PS	PS	PS	See Division 25-09-200
Firewood pile	PS	PS	PS	PS	PS	See Division 25-09-200
Garage sale	PS	PS	PS	PS	PS	See Division 25-09-200
Home occupation	C	C	C	C		See Division 25-09-200
Parking and/or loading facility	P	P	P	P	P	
Recreational amenity, private	P	P	P	P	P	

Accessory Use	Zoning District					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Recreational vehicle storage	PS	PS	PS			See Division 25-09-200
Sacred community	PS	PS	PS	PS	PS	See Division 25-09-100
Solar energy system, small-scale	P	P	P	P	P	
Swimming pool, residential	PS	PS	PS	PS		See Division 25-09-200

**Section 4.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-400, Section 25-05-401, is amended to read as follows:

**Sec. 25-05-401. Lot Dimensions**

- (a) All uses in Table 05-1 Principal Use Table – Residential Districts and Table 05-2 Accessory Use Table – Residential Districts shall comply with the lot dimensional requirements set forth in Table 05-3 Lot Dimensions – Residential Districts and all other applicable regulations set forth in this Ordinance.
- (b) All lot dimension standards listed in this section are subject to the standards and exemptions listed in Article 25-04 General Zoning.
- (c) Table 05-3 establishes the minimum lot area and lot width requirements for the R-1, R-2, R-3, R-4, and R-5 zoning districts.

**Table 05-3. Lot Dimensions – Residential Districts**

District	Use	Minimum Lot Area (sq. ft.)	Minimum Lot Width (ft.)
<b>R-1</b>	Dwelling, single-unit detached	15,000	100
	All other uses	N/A	N/A
<b>R-2</b>	Dwelling, single-unit detached	9,600	80
	Dwelling, two-unit	6,000 per unit	50 per unit
	Dwelling, attached townhouse or rowhouse	2,400 per unit	20 per unit
	Courtyard cottage development	14,400 per development	120 per development
	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None
	All other uses	N/A	N/A
<b>R-3</b>	Dwelling, single-unit detached	6,000	50
	Dwelling, two-unit	4,200 per unit	35 per unit
	Dwelling, attached townhouse or rowhouse	2,400 per unit	20 per unit
	Dwelling, small apartment (3-8 units)	12,000 per lot	100 per lot
	Courtyard cottage development	14,400 per development	120 per development
	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None



District	Use	Minimum Lot Area (sq. ft.)	Minimum Lot Width (ft.)
	All other uses	N/A	N/A
<b>R-4</b>	Dwelling, attached townhouse or rowhouse	2,400 per unit	20 per unit
	Dwelling, small apartment (3-8 units)	12,000 per lot	100 per lot
	Dwelling, large apartment (9+ units)	15,000 per lot or 1,250 per unit, whichever is greater	120 per lot
	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None
	All other uses	N/A	N/A
<b>R-5</b>	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None
	All other uses	N/A	N/A
<b>Table Notes</b>			
<sup>1</sup> Minimum 30 ft. side-to-side separation required between two manufactured homes			

**Section 5.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-400, Section 25-05-402, is amended to read as follows:

**Sec. 25-05-402. Site Dimensions**

- (a) All uses in Table 05-1 Principal Use Table – Residential Districts and Table 05-2 Accessory Use Table – Residential Districts shall comply with the site dimensional requirements set forth in Table 05-4 Site Setbacks – Residential Districts, Table 05-5 Site Dimensions – Residential Districts, and all other applicable regulations set forth in this Ordinance.
- (b) All site dimension standards listed in this section are subject to the standards and exemptions listed in Article 25-04 General Zoning.
- (c) Tables 05-4 and 05-5 establish the minimum site standards for the R-1, R-2, R-3, R-4, and R-5 zoning districts. Setbacks for any use not listed shall be the most restrictive of the base district.

**Table 05-4. Site Setbacks – Residential Districts**

District	Use	Minimum Setbacks (ft.)					Minimum Building Separation (ft.)
		Front	Side Corner	Side Interior	Rear	Site Perimeter	
<b>R-1</b>	Dwelling, single-unit detached <sup>1</sup>	30	30	10	50		
	All other uses <sup>2</sup>	30	30	10	50		
<b>R-2</b>	Dwelling, single-unit detached <sup>1</sup>	30	20	10	40		
	Dwelling, two-unit	30	20	10	40		
	Dwelling, attached townhouse or rowhouse	30	20	10	40		15

District	Use	Minimum Setbacks (ft.)					Minimum Building Separation (ft.)
		Front	Side Corner	Side Interior	Rear	Site Perimeter	
	Courtyard cottage development	30	20			30	10
	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	40		
R-3	Dwelling, single-unit detached <sup>1</sup>	30	20	5	30		
	Dwelling, two-unit	30	20	10	30		
	Dwelling, attached townhouse or rowhouse	30	20	10	30		15
	Dwelling, small apartment (3-8 units) <sup>3,2</sup>	30	20	10	30		15
	Courtyard cottage development	30	20			30	10
	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	40		
R-4	Dwelling, attached townhouse or rowhouse	30	20	10	30		15
	Dwelling, small apartment (3-8 units)	30	20	10	30		15
	Dwelling, large apartment (9+ units)	30	30	20	30		15
	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	30		
R-5	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	10	30	
<b>Table Notes</b> <sup>1</sup> Minimum building width is 15 ft. <sup>2</sup> Detached garages and accessory buildings shall adhere to the setback requirements in Sec. 25-09-201. <sup>3</sup> Minimum building width is 40 ft.							

Table 05-5. Site Dimensions – Residential Districts

District	Maximum Building Height (ft.)	Maximum Impervious Surface Coverage <sup>2</sup>
R-1	40	25%
R-2	40	45%
R-3	40	75%
R-4	40 <sup>1</sup>	75%
R-5	40	None

District	Maximum Building Height (ft.)	Maximum Impervious Surface Coverage <sup>2</sup>
<u>Table Notes</u> <sup>1</sup> Large apartment buildings may exceed the specified maximum height, up to a maximum of 60 ft., through approval of a CUP <sup>2</sup> Swimming pools are considered impervious surfaces.		

**Section 6.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-06, Division 25-06-300, Section 25-06-301, is amended to read as follows:

**Sec. 25-06-301. Use Tables**

- (a) Table 06-1 Principal Use Table – Non-Residential Districts and Table 06-2 Accessory Use Table – Non-Residential Districts list land uses and indicate whether they are permitted, permitted with standards, conditional, interim, or prohibited in each zoning district. The following definitions shall be referenced when using Tables 06-1 and 06-2.

- (1) Permitted Use – a “P” in a cell of the use tables indicates that the land use is allowed by right in the zoning district.
  - (2) Permitted with Standards Use – a “PS” in a cell of the use tables indicates that the land use is allowed in the zoning district provided it meets the certain use-specific standards as described in Article 25-09 Use-Specific Standards.
  - (3) Conditional Use – a “C” in a cell of the use tables indicates that the land use is allowed in the zoning district only upon approval of a conditional use permit as described in Article 25-03 Administration, Procedures, and Enforcement and compliance with any applicable use-specific standards identified in Article 25-09 Use-Specific Standards.
  - (4) Prohibited Use – a blank cell in the use tables indicates that the land use is prohibited in that zoning district.
- (b) In the event a proposed use is not listed in the use tables, the Community Development Director shall make a determination if the use is consistent by type, intensity, physical characteristics, style, size, and purpose with any use listed in Tables 06-1 and 06-2.
- (1) If the proposed use found to be consistent with another listed use, the proposed use shall be treated the same as the similar one identified by the Community Development Director.
  - (2) If the proposed use is not found to be consistent with any listed use, the Council, Planning Commission, or property owner may request an amendment to this Chapter to provide guidance for the proposed use.

**Table 06-1. Principal Use Table – Non-Residential Districts**

Principal Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Residential						
Household Living						
Dwelling, large apartment (9+ units)	C					
Dwelling, apartment mixed use	P					
Courtyard cottage development	P					
Live-work unit	C					See Division 25-09-100
Manufactured home park	C					See Division 25-09-100
Group Living						
Assisted living facility	P	C				See Division 25-09-100
Continuum of care senior facility	P	C				See Division 25-09-100
Long-term or transitional care facility	P	C				See Division 25-09-100
Residential care facility, 7 to 16 persons	P					
Sacred community	P	P	P	P	P	See Division 25-09-100
Lodging						
Hotel	P	P	P			
Motel		P	P			
Commercial						
Food & Beverage						
Brew pub	PS	PS	PS	PS	PS	See Chapter 10
Catering establishment	P	P				
Liquor store, off-sale		PS				See Chapter 10
Restaurant	P	P	P	P		
Specialty food or beverage shop	P	P				
Brewery taproom	PS	PS	PS	PS	PS	See Chapter 10
Tavern	PS	PS		PS		See Chapter 10
Retail Sales & Personal Services						
Animal hospital		P	P			See Division 25-09-100
Automotive fuel station	P	P				
Automotive sales or rental		C				See Division 25-09-100
Automotive service and repair		PS				See Division 25-09-100

Principal Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Automotive towing service				C		See Division 25-09-100
Cannabis lounge		P		P		
Cannabis or hemp retailer		P				
Car wash		C				See Division 25-09-100
Commercial center	P	P				
Dry cleaning service		P				
Dwelling, apartment mixed use	P					
Kennel, commercial		C				See Division 25-09-100
Off-site service business		PS		PS		See Division 25-09-100
Pawnshop		PS				See Chapter 9, Article 1
Pet shop	P	P				
Precious metal dealer		PS				See Chapter 9, Article 1
Self service laundry		P				
Standalone retail or service business	P	P	PS			
Tattoo and body art establishment	P	P				
<b>Business &amp; Technical Services</b>						
Art studio	P	P		P		
Office	P	P	P	P	P	
Showroom			P	P	P	
Laboratory, research, and/or development facility				P	P	
<b>Industrial</b>						
Bulk storage of liquid					P	
Brewery, winery, distillery, meadery	P	P	P	P	P	
Cannabis combination business					P	
Cannabis or hemp industrial business					P	
Microbrewery or microdistillery	P	P	P	P	P	
Data center				C	C	
Manufacturing, heavy					P	
Manufacturing, light		P		P	P	
Self-service storage facility				PS		
Warehousing				P	P	
Wholesale trade establishment				P		

Principal Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Public & Institutional						
Clinic	P	P	P	P		
Club or lodge	P	P				
Day care facility, 13-16 persons	P					
Day care facility, 17+ persons	P	P	P	P		
Financial institution	P	P				
Funeral home, mortuary		P				
Government use	C	C	C	C	C	
Hospital			P			
Place of worship	C	C	C	C	C	
School, elementary, middle, or secondary	C	C	C	C	C	
School, post-secondary			C			
School, vocational		C	C			
Entertainment & Recreation						
Adult establishment		PS	PS	PS	PS	See Division 25-09-100
Commercial event center		C	C	C		
Commercial recreation facility, indoor	P	P	P	P		
Commercial recreation facility, outdoor		P	P	P		
Health and athletic club facility	P	P	P	P		
Public recreational facility	C	C	C	C	C	
Public park or playground	P	P	P	P	P	
Social or cultural facility	C	C	C	C	C	
Agriculture & Forestry						
Nursery, tree farm, or greenhouse		P		P		
Utilities & Transportation						
Cannabis delivery/transporter business				P		
Essential service facility	PS	PS	PS	PS	PS	See Division 25-09-100
Public parking facility	C	C	C			
Tower or wireless facility				PS	PS	See Division 25-09-100
Truck terminal					P	
Wind energy conversion system		PS			PS	See Division 25-09-100

Table 06-2. Accessory Use Table – Non-Residential Districts

Accessory Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Accessory office	PS	PS	PS	PS	PS	See Division 25-09-200
Accessory retail or service	PS	PS	PS	PS	PS	See Division 25-09-200
Accessory warehousing	P	P	P			
Accessory building	PS	PS	PS	PS	PS	See Division 25-09-200
Adult establishment, accessory		PS	PS	PS	PS	See Division 25-09-100
Antenna and/or telecommunication support structure	C	C	C	C	C	See Division 25-09-100
Car wash		C				See Division 25-09-100
Catering establishment	P	P				
Cemetery	PS	PS	PS	PS	PS	See Division 25-09-200
Construction-related temporary use	P	P	P	P	P	
Day care facility, group family						
Drive-through facility	PS	PS				See Division 25-09-200
Electric vehicle charging station	PS	PS	PS	PS	PS	See Section 25-10-308
Incidental repair or processing necessary to conduct a permitted principal use		P		P	P	
Laboratory			P	P	P	
Mobile food unit	PS	PS	PS	PS	PS	See Chapter 9, Article 15
Outdoor dining	PS	PS	PS	PS		See Division 25-09-200
Outdoor display		PS		PS		See Division 25-09-200
Outdoor sales		PS				See Division 25-09-200
Outdoor storage				PS	PS	See Division 25-09-200
Parking and/or loading facility	P	P	P	P	P	
Recreational amenity, private	P					
Sacred community	PS	PS	PS	PS	PS	See Division 25-09-100
Solar energy system, small-scale	P	P	P	P	P	

**Section 7.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-09, Division 25-09-200, Section 25-09-201, is amended to read as follows:

Sec. 25-09-201. Accessory Building

- (a) An accessory building shall be considered an integral part of the principal building if it is connected to the principal building by a covered passageway.
- (b) No accessory building or use shall be constructed or developed on a lot prior to the time of construction of the principal building to which it is accessory, except by Interim Use Permit.
- (c) Accessory buildings on residential lots that are not designed for the storage of personal property or vehicles, or are not designed for human occupancy, shall not count towards the allowed number of accessory buildings. Examples include, but are not limited to, chicken coops, greenhouses, gazebos, or recreational or playground equipment.

(d) Building Size

- (1) ~~Single-unit~~ Parcels of land containing single-unit dwellings ~~are allowed~~ may have one (1) attached or detached private garage on the same lot. The maximum area of the private garage ~~must~~ shall not exceed one thousand (1,000) square feet.
- (2) In addition to one (1) private garage, parcels of land containing single-unit dwellings ~~are allowed a second accessory building up to~~ may have an accessory building that does not exceed two hundred (200) square feet in size.
- (3) A Conditional Use Permit is required for an additional private garage or accessory building that exceeds two hundred (200) square feet in size subject to the following criteria.
  - (A) The parcel of land where the private garage or accessory building is to be located may not be subdivided as long as the private garage or accessory building is on the property.
  - (B) The private garage or accessory building must not be of a pole building type construction (defined as a structure that utilizes treated lumber buried in the ground that serves as the building foundation).
  - (C) The private garage or accessory building must not have a door or other access opening shall exceed ten (10) feet in height.
  - (D) The private garage or accessory building must not be used for commercial or industrial activities, except as allowed by the regulations governing home occupations.
  - (E) The private garage or accessory building shall not exceed 1,500 square feet in size.
  - (F) The private garage or accessory building shall not exceed 25 feet in height.
  - (G) Access to a private garage must be by a driveway surfaced with bituminous, concrete, brick, Class V, or other materials as approved by the City.



(H) Parcels of land containing single-unit dwellings must not have more than one additional private garage or accessory building exceeding two-hundred (200) square feet in size.

(e) Building Location

- (1) No detached garage or other accessory building shall be located nearer the front lot line than the principal building on that lot.
- (2) Except for accessory agricultural buildings, no accessory buildings shall be erected or located within any required side yard setback or within any utility easement.
- (3) Detached private garages and accessory buildings shall be setback a minimum of ten (10) feet from rear and side property lines in the R-1 district, and five (5) feet from rear and side property lines in all other residential districts.

(f) Building Height

- (1) Accessory agricultural buildings are exempt from building height requirements.
- (2) Accessory buildings and garages in Residential Districts shall not exceed the height of the principal structure.
- (3) Split Elevation Lots: When the principal structure is at the lower elevation, the maximum height of the accessory building is restricted to sixteen (16) feet if the roof line of the accessory building exceeds the height of the roof line of the principal structure. See additional height requirements in Division 25-05-400 Lot and Site Dimensions.
- (4) Accessory buildings in a Commercial or Industrial District may exceed the height of the principal structure with approval of a Conditional Use Permit.

(g) Exterior Building Materials

- (1) Accessory buildings for commercial, industrial, institutional, mixed-use, and multifamily uses shall be of the same exterior material, quality and appearance as the principal structure.
- (2) Accessory buildings shall not be pole building type construction (defined as a structure that utilizes treated lumber buried in the ground that serves as the building foundation) nor prefabricated metal exterior materials.

**Section 8.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-10, Division 25-10-200, is amended to read as follows:

**Sec. 25-10-200. Exterior Building Materials**

- (a) It is the intent of this division to promote high standards for new building design and construction in the city. These exterior building material standards are set forth in order to enhance the visual appearance of the non-residential, large apartment, and mixed use apartment buildings; to prevent the physical deterioration of buildings; to increase the City's tax base; to promote the general welfare of the community; and

ensure new development and redevelopment contributes to enhancing the community's character and image.

- (b) Exterior building material standards shall apply to all non-residential, apartment, and mixed use apartment buildings.
- (c) Primary exterior building materials are categorized into three classes – Class I, Class II, Class III - and shall be applied in the following manner:
  - (1) To qualify as a primary material, a building material must comprise at least five (5) percent of the exterior building facades.
  - (2) Garage doors, window trim, flashing accent items and the like, shall not constitute primary materials.
  - (3) The use of Class II or III materials may be vary for each building facade as long as the average across all building facades meets the minimum or maximum standards.
- (d) Primary classes of materials. For the purpose of this division, primary materials shall be categorized as Class I; Class II; and Class III as follows:
  - (1) Class I shall be considered high-quality building materials that are long-lasting and able to withstand wear and tear. Class I materials are considered architecturally desirable and are designed for the climate conditions the material will commonly be exposed to resulting in a typical material life expectancy of 40 years or more.
  - (2) Class II shall be considered standard building materials. Class II materials are considered architecturally desirable and are designed for the climate conditions the material will commonly be exposed to resulting in a typical material life expectancy of 20 years or more.
  - (3) Class III shall be considered lower-cost and trim grade materials. Class III materials are considered aesthetically incompatible as a primary building material with Class I or Class II materials or are materials which are typically more prone to damage or degradation of material quality from weatherization resulting in a typical material life expectancy of 20 years or less.

Table 10-1. Exterior Building Material Classes

Material Class	Materials Included
Class I	Brick or thin-veneer brick systems
	<ul style="list-style-type: none"> <li>- For the purpose of counting number of distinct materials used, a distinctively different color of brick may be considered as a second Class I material.</li> <li>- Minor blended color variations shall not be counted as a separate material.</li> </ul>
	Natural stone or architectural precast stone
	Glass <ul style="list-style-type: none"> <li>- No glass located on the ground floor of non-residential buildings shall be opaque, colored, or have any reflective mirror type coating unless it is bird-friendly glass</li> </ul>

Material Class	Materials Included
	Fiber cement wall panel systems
	Copper or stainless steel panels
Class II	Specialty concrete block such as textured, burnished block, or rock faced block
	Architecturally textured precast concrete panels (except raked finish)
	Masonry stucco
	Exterior insulation and finish systems (EIFS)
	Architectural metal wall panel systems
	Other comparable or superior materials
Class III	Opaque panels
	Smooth scored concrete block
	Ceramic finished concrete block
	Glass block
	Wood
	Other comparable or superior materials
Prohibited	Corrugated metal Plastic Sheet fiberglass Plaster Panels systems with exposed fasteners

- (e) Buildings shall be composed of materials from Table 10-1 Exterior Building Material Classes in the following manner:

Table 10-2. Exterior Building Material Distribution

Use	Class I	Class II	Class III
Non-residential; <u>in all districts and except industrial uses in the B-2 zoning district</u>	70% minimum; Minimum of 3 materials <sup>1</sup>	30% maximum	15% maximum
Industrial ( <u>except in the B-2 zoning district</u> )	50% minimum; Minimum of 2 materials	50% maximum	15% maximum
Apartment and mixed use apartment buildings	60% minimum	40% maximum	15% maximum

Use	Class I	Class II	Class III
<sup>1</sup> Buildings may be constructed primarily of one (1) specific Class 1 material provided the design is superior to the general intent of this division and provides variation in detailing, footprint of the structure, or deviations in long wall sections to provide visual interest.			

**Section 9.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-11, Division 25-11-200, Section 25-11-205, is amended to read as follows:

**Sec. 25-11-205. Electronic Message Signs**

(a) All electronic message signs, including dynamic billboards, shall meet the following standards:

- (1) The lamp wattage and luminance level in Nits shall be provided at the time of permit application.
- (2) Public service messages, in addition to messages such as Amber Alerts, are to be provided at no cost to the public.
- (3) Electronic dynamic business signs are prohibited as temporary signs.
- (4) Electronic message signs must have minimum display duration of 30 seconds.
- (5) The sign must be rectangular in shape and all messages contained within.

(b) Additional standards for dynamic billboards:

- (1) Such displays shall contain static messages only; change from one (1) static message to another shall be instantaneous without any special effects, through dissolve or fade transitions, or with the use of other subtle transition that do not have the appearance of moving text or images.
- (2) The sign shall not be allowed on any buildings.
- (3) All electronic message signs shall have installed ambient light monitors and shall, at all times, allow such monitors to automatically adjust the brightness level of the electronic sign based on light conditions.
- (4) Electronic message signs shall not exceed two thousand five hundred (2,500) Nits between the hours of civil sunrise and civil sunset and shall not exceed five hundred (500) Nits between the hours of civil sunset and civil sunrise as measured from the face of the sign.
- (5) Electronic message signs shall have a fully functional monitoring off switch system that automatically shuts the electronic display off when the display deteriorates, in any fashion, five (5) percent or greater until the electronic display sign has been repaired to its fully functional factory specifications.
- (6) When a static billboard is replaced with an electronic message sign, a permanent removal of two (2) square feet of existing static billboard shall be required for every one (1) square foot of electronic message sign.

- (7) Conversion of a nonconforming static billboard sign to a dynamic display electronic message sign is prohibited.
- (c) For institutional uses in residential districts, electronic message signs are allowed as part of the total area of any freestanding sign, with the following standards:
- (1) A conditional use permit is required.
  - (2) The electronic portion of the sign not to exceed thirty-two (32) square feet.
  - (3) Electronic message signs shall not exceed two thousand five hundred (2,500) Nits between the hours of civil sunrise and civil sunset, as measured from the sign face.
  - (4) The electronic portion of the sign may not be illuminated between 10:00 pm and 6:00 am, and shall have a maximum of two hundred fifty (250) Nits from civil sunset to civil sunrise, as measured from the sign face. The City Council may extend the hours of illumination if the proposed sign is located at least one hundred (100) feet from a residential property boundary.
  - (5) Signs shall have a fully functional off switch that automatically shuts the electronic display sign off when the display deteriorates ten (10) percent or greater.
- (d) In commercial districts, electronic message signs are allowed as part of the total area of a permitted freestanding sign, with the following standards:
- (1) A conditional use permit is required.
  - (2) Signs shall not exceed two thousand five hundred (2,500) Nits between the hours of civil sunrise and civil sunset and shall not exceed five hundred (500) Nits between the hours of civil sunset and civil sunrise, as measured from the sign face.
  - (3) Signs adjacent to residential properties shall be shut off from 10 pm to 6 am or have a maximum of two hundred fifty (250) Nits from civil sunset to civil sunrise.
  - (4) Signs shall have a fully functional off switch that automatically shuts the display sign off when the display deteriorates ten (10) percent or greater.

**Section 10.** Incorporation. City staff is authorized and directed to update the table of contents, reformat this ordinance, and to make such other non-substantive changes as are necessary to incorporate the amendments adopted by this ordinance into the Oakdale city code.

**Section 11** This Ordinance shall take effect and be in full force from and after its adoption and publication, as provided by law.

AYES: Mayor Zabel, Councilmembers Moore, Morcomb, Severson, and Wrich

NAYS:           None

Adopted this 27<sup>th</sup> day of January, 2026 by the Oakdale City Council.

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Kevin Zabel, Mayor

Attest:

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Sara Ludwig, City Clerk

Posted:

Published:

Text with ~~strikeout~~ is proposed for deletion.

Text with underline is proposed for insertion.

City of Oakdale  
ORDINANCE NO. \_\_\_\_

**AMENDING THE CODE OF ORDINANCES FOR THE CITY OF OAKDALE, CHAPTER 25  
RELATING TO ALLOWED USES IN THE R-2 AND B-2 ZONING DISTRICTS, CRITERIA FOR  
ELECTRONIC SIGNAGE AND ACCESSORY STRUCTURES, EXTERIOR DESIGN STANDARDS  
FOR THE B-2 ZONING DISTRICT, AND A CORRECTION TO THE APPLICATION REVIEW  
PROCEDURES**

The City Council of the City of Oakdale ordains:

**Section 1.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-03, Division 25-03-800, Section 25-03-802, is amended to read as follows:

Sec. 25-03-802.      Application

(a) The application for a Zoning Ordinance text or map amendment shall be made in accordance with Section 25-03-102 Application Submittal.

(b) Review Procedure

(1) The application for a Zoning Ordinance text or map amendment shall be processed using the procedure outlined in Section 25-03-103 Application Review Procedure, except that amendments to this Ordinance that are initiated by the Planning Commission shall not be reviewed by the Planning Commission.

(2) When the Planning Commission initiates the amendment, the City Council shall hold a public hearing following the process in Subsection 25-03-103(b) and review of the application shall follow the procedure in Subsection 25-03-103(d).

(3) An amendment that changes all or part of the existing classification of a zoning district from residential to commercial or industrial requires a two-thirds majority vote of all City Council members.

(c) Criteria for Approving a Text or Map Amendment. The Planning Commission and City Council shall consider possible effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following factors:

(1) The proposed amendment has been reviewed and found to be consistent with official comprehensive plan policies; and

(2) The proposed amendment can be accommodated with existing public services and will not overburden the city's service capacity.

(d) Procedure. The application for a CUP-Text or Map Amendment shall be processed using the procedure outlined in Section 25-03-103 Application Review Procedure.

**Section 2.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-200, is amended to read as follows:

## Division 25-05-200. District Intents.

The following statements specify the intents of the zoning districts established to regulate areas of the City considered appropriate for residential uses:

- (a) R-1 Large Lot Detached Residential District. The R-1 District is intended to provide for detached single-unit residences on larger lots. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (b) R-2 Low Density Residential District. The R-2 District is intended to provide for a variety of low density residential dwellings including single-unit dwellings and ~~smaller multi-unit dwellings such as~~ two-unit dwellings ~~and townhomes~~ within existing neighborhoods. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (c) R-3 Medium Density Residential District. The R-3 District is intended to provide for a mix of medium density residential uses including smaller lot single-unit dwellings, two-unit dwellings, townhomes, courtyard cottage developments, and small apartments. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (d) R-4 High Density Residential District. The R-4 District is intended to provide for a variety of higher density attached housing types including townhouses and apartments. Directly related complementary uses, as well as public and institutional uses such as places of worship, schools, and parks, are also appropriate.
- (e) R-5 Manufactured Home Park District. The R-5 District is intended to provide for manufactured home parks in an appropriate, safe, sanitary, and attractive environment.

**Section 3.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-300, Section 25-05-301, is amended to read as follows:

### Sec. 25-05-301. Use Tables

- (a) Table 05-1 Principal Use Table – Residential Districts and Table 05-2 Accessory Use Table – Residential Districts list land uses and indicate whether they are permitted, permitted with standards, conditional, or prohibited in each zoning district. The following definitions shall be referenced when using Tables 05-1 and 05-2.
  - (1) Permitted Use – a “P” in a cell of the use tables indicates that the land use is allowed by right in the zoning district.
  - (2) Permitted with Standards Use – a “PS” in a cell of the use tables indicates that the land use is allowed in the zoning district provided it meets the certain use-specific standards as described in Article 25-09 Use-Specific Standards.
  - (3) Conditional Use – a “C” in a cell of the use tables indicates that the land use is allowed in the zoning district only upon approval of a conditional use permit as described in Article 25-03 Administration, Procedures, and Enforcement



and compliance with any applicable use-specific standards identified in Article 25-09 Use-Specific Standards.

- (4) Prohibited Use – a blank cell in the use tables indicates that the land use is prohibited in that zoning district.
- (b) In the event a proposed use is not listed in the use tables, the Community Development Director shall make a determination if the use is consistent by type, intensity, physical characteristics, style, size, and purpose with any use listed in Tables 05-1 and 05-2.
- (1) If the proposed use is found to be consistent with another listed use, the proposed use shall be treated the same as the similar one identified by the Community Development Director.
- (2) If the proposed use is not found to be consistent with any listed use, the Council, Planning Commission, or property owner may request an amendment to this Chapter to provide guidance for the proposed use.

Table 05-1. Principal Use Table – Residential Districts

Principal Use	Zoning Districts					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Residential						
Household Living						
Dwelling, single-unit detached	P	P	P			
Dwelling, two-unit		P	P			
Dwelling, attached townhouse or rowhouse		P	P	P		
Dwelling, small apartment (3-8 units)			P	P		
Dwelling, large apartment (9+ units)				P		
Courtyard cottage development		P	P			
Manufactured home park		C	C	C	P	See Section 25-05-501
Group Living						
Assisted living facility				P		
Continuum of care senior facility				P		
Long-term or transitional care facility				P		
Residential care facility, 6 or fewer persons	P	P	P			
Residential care facility, 7 to 16 persons		P	P	P	P	
Sacred community	P	P	P	P	P	
Sober home		P	P			
Commercial						
Kennel, private	C	C	C			See Division 25-09-100
Public & Institutional						

Principal Use	Zoning Districts					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Day care facility, 12 or fewer persons	P	P	P			
Day care facility, 13-16 persons		P	P	P	P	
Government use	C	C	C	C	C	
Place of worship	C	C	C	C	C	
School, elementary, middle, or secondary	C	C	C	C	C	
<b>Entertainment &amp; Recreation</b>						
Public recreational facility	C	C	C	C	C	
Public park or playground	C	C	C	C	C	
<b>Agriculture &amp; Forestry</b>						
Agriculture	P					
<b>Utilities &amp; Transportation</b>						
Essential service facility	PS	PS	PS	PS	PS	See Division 25-09-100

Table 05-2. Accessory Use Table – Residential Districts

Accessory Use	Zoning District					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Accessory agricultural building	P					
Accessory building	PS	PS	PS	PS	PS	See Division 25-09-200
Accessory dwelling unit	C	C	C			See Division 25-09-200
Animal keeping	PS	PS	PS	PS	PS	See Chapter 4
Antenna and/or telecommunication support structure	C	C	C	C	C	
Cemetery	PS	PS	PS	PS	PS	See Division 25-09-200
Construction-related temporary use	P	P	P	P	P	
Day care facility, group family	P	P	P			
Electric vehicle charging station	PS	PS	PS	PS	PS	See Section 25-10-308
External solid fuel-fired heating device	PS	PS	PS	PS	PS	See Division 25-09-200
Firewood pile	PS	PS	PS	PS	PS	See Division 25-09-200
Garage sale	PS	PS	PS	PS	PS	See Division 25-09-200
Home occupation	C	C	C	C		See Division 25-09-200
Parking and/or loading facility	P	P	P	P	P	
Recreational amenity, private	P	P	P	P	P	

Accessory Use	Zoning District					Use Standards
	R-1	R-2	R-3	R-4	R-5	
Recreational vehicle storage	PS	PS	PS			See Division 25-09-200
Sacred community	PS	PS	PS	PS	PS	See Division 25-09-100
Solar energy system, small-scale	P	P	P	P	P	
Swimming pool, residential	PS	PS	PS	PS		See Division 25-09-200

**Section 4.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-400, Section 25-05-401, is amended to read as follows:

**Sec. 25-05-401. Lot Dimensions**

- (a) All uses in Table 05-1 Principal Use Table – Residential Districts and Table 05-2 Accessory Use Table – Residential Districts shall comply with the lot dimensional requirements set forth in Table 05-3 Lot Dimensions – Residential Districts and all other applicable regulations set forth in this Ordinance.
- (b) All lot dimension standards listed in this section are subject to the standards and exemptions listed in Article 25-04 General Zoning.
- (c) Table 05-3 establishes the minimum lot area and lot width requirements for the R-1, R-2, R-3, R-4, and R-5 zoning districts.

Table 05-3. Lot Dimensions – Residential Districts

District	Use	Minimum Lot Area (sq. ft.)	Minimum Lot Width (ft.)
R-1	Dwelling, single-unit detached	15,000	100
	All other uses	N/A	N/A
R-2	Dwelling, single-unit detached	9,600	80
	Dwelling, two-unit	6,000 per unit	50 per unit
	<del>Dwelling, attached townhouse or rowhouse</del>	<del>2,400 per unit</del>	<del>20 per unit</del>
	<del>Courtyard cottage development</del>	<del>14,400 per development</del>	<del>120 per development</del>
	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None
	All other uses	N/A	N/A
R-3	Dwelling, single-unit detached	6,000	50
	Dwelling, two-unit	4,200 per unit	35 per unit
	Dwelling, attached townhouse or rowhouse	2,400 per unit	20 per unit
	Dwelling, small apartment (3-8 units)	12,000 per lot	100 per lot
	Courtyard cottage development	14,400 per development	120 per development
	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None

District	Use	Minimum Lot Area (sq. ft.)	Minimum Lot Width (ft.)
	All other uses	N/A	N/A
R-4	Dwelling, attached townhouse or rowhouse	2,400 per unit	20 per unit
	Dwelling, small apartment (3-8 units)	12,000 per lot	100 per lot
	Dwelling, large apartment (9+ units)	15,000 per lot or 1,250 per unit, whichever is greater	120 per lot
	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None
	All other uses	N/A	N/A
R-5	Manufactured home park	3,500 per unit (4,500 average) <sup>1</sup>	None
	All other uses	N/A	N/A
<b>Table Notes</b> <sup>1</sup> Minimum 30 ft. side-to-side separation required between two manufactured homes			

**Section 5.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-05, Division 25-05-400, Section 25-05-402, is amended to read as follows:

**Sec. 25-05-402. Site Dimensions**

- (a) All uses in Table 05-1 Principal Use Table – Residential Districts and Table 05-2 Accessory Use Table – Residential Districts shall comply with the site dimensional requirements set forth in Table 05-4 Site Setbacks – Residential Districts, Table 05-5 Site Dimensions – Residential Districts, and all other applicable regulations set forth in this Ordinance.
- (b) All site dimension standards listed in this section are subject to the standards and exemptions listed in Article 25-04 General Zoning.
- (c) Tables 05-4 and 05-5 establish the minimum site standards for the R-1, R-2, R-3, R-4, and R-5 zoning districts. Setbacks for any use not listed shall be the most restrictive of the base district.

**Table 05-4. Site Setbacks – Residential Districts**

District	Use	Minimum Setbacks (ft.)					Minimum Building Separation (ft.)
		Front	Side Corner	Side Interior	Rear	Site Perimeter	
R-1	Dwelling, single-unit detached <sup>1</sup>	30	30	10	50		
	All other uses <sup>2</sup>	30	30	10	50		
R-2	Dwelling, single-unit detached <sup>1</sup>	30	20	10	40		
	Dwelling, two-unit	30	20	10	40		
	<del>Dwelling, attached townhouse or rowhouse</del>	<del>30</del>	<del>20</del>	<del>10</del>	<del>40</del>		<del>15</del>

District	Use	Minimum Setbacks (ft.)					Minimum Building Separation (ft.)
		Front	Side Corner	Side Interior	Rear	Site Perimeter	
	<del>Courtyard cottage development</del>	<del>30</del>	<del>20</del>			<del>30</del>	<del>10</del>
	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	40		
R-3	Dwelling, single-unit detached <sup>1</sup>	30	20	5	30		
	Dwelling, two-unit	30	20	10	30		
	Dwelling, attached townhouse or rowhouse	30	20	10	30		15
	Dwelling, small apartment (3-8 units) <sup>3,2</sup>	30	20	10	30		15
	Courtyard cottage development	30	20			30	10
	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	40		
R-4	Dwelling, attached townhouse or rowhouse	30	20	10	30		15
	Dwelling, small apartment (3-8 units)	30	20	10	30		15
	Dwelling, large apartment (9+ units)	30	30	20	30		15
	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	30		
R-5	Manufactured home park	30	20	10	10	30	15
	All other uses <sup>2</sup>	30	20	10	10	30	
<b>Table Notes</b> <sup>1</sup> Minimum building width is 15 ft. <sup>2</sup> <del>Detached garages and accessory buildings shall adhere to the setback requirements in Sec. 25-09-201.</del> <sup>3</sup> Minimum building width is 40 ft.							

Table 05-5. Site Dimensions – Residential Districts

District	Maximum Building Height (ft.)	Maximum Impervious Surface Coverage <sup>2</sup>
R-1	40	25%
R-2	40	45%
R-3	40	75%
R-4	40 <sup>1</sup>	75%
R-5	40	None

District	Maximum Building Height (ft.)	Maximum Impervious Surface Coverage <sup>2</sup>
<u>Table Notes</u> <sup>1</sup> Large apartment buildings may exceed the specified maximum height, up to a maximum of 60 ft., through approval of a CUP <sup>2</sup> Swimming pools are considered impervious surfaces.		

**Section 6.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-06, Division 25-06-300, Section 25-06-301, is amended to read as follows:

**Sec. 25-06-301. Use Tables**

- (a) Table 06-1 Principal Use Table – Non-Residential Districts and Table 06-2 Accessory Use Table – Non-Residential Districts list land uses and indicate whether they are permitted, permitted with standards, conditional, interim, or prohibited in each zoning district. The following definitions shall be referenced when using Tables 06-1 and 06-2.

- (1) Permitted Use – a “P” in a cell of the use tables indicates that the land use is allowed by right in the zoning district.
- (2) Permitted with Standards Use – a “PS” in a cell of the use tables indicates that the land use is allowed in the zoning district provided it meets the certain use-specific standards as described in Article 25-09 Use-Specific Standards.
- (3) Conditional Use – a “C” in a cell of the use tables indicates that the land use is allowed in the zoning district only upon approval of a conditional use permit as described in Article 25-03 Administration, Procedures, and Enforcement and compliance with any applicable use-specific standards identified in Article 25-09 Use-Specific Standards.
- (4) Prohibited Use – a blank cell in the use tables indicates that the land use is prohibited in that zoning district.

- (b) In the event a proposed use is not listed in the use tables, the Community Development Director shall make a determination if the use is consistent by type, intensity, physical characteristics, style, size, and purpose with any use listed in Tables 06-1 and 06-2.

- (1) If the proposed use found to be consistent with another listed use, the proposed use shall be treated the same as the similar one identified by the Community Development Director.
- (2) If the proposed use is not found to be consistent with any listed use, the Council, Planning Commission, or property owner may request an amendment to this Chapter to provide guidance for the proposed use.

**Table 06-1. Principal Use Table – Non-Residential Districts**

Principal Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Residential						
Household Living						
Dwelling, large apartment (9+ units)	C					
Dwelling, apartment mixed use	P					
Courtyard cottage development	P					
Live-work unit	C					See Division 25-09-100
Manufactured home park	C					See Division 25-09-100
Group Living						
Assisted living facility	P	C				See Division 25-09-100
Continuum of care senior facility	P	C				See Division 25-09-100
Long-term or transitional care facility	P	C				See Division 25-09-100
Residential care facility, 7 to 16 persons	P					
Sacred community	P	P	P	P	P	See Division 25-09-100
Lodging						
Hotel	P	P	P			
Motel		P	P			
Commercial						
Food & Beverage						
Brew pub	PS	PS	PS	PS	PS	See Chapter 10
Catering establishment	P	P				
Liquor store, off-sale		PS				See Chapter 10
Restaurant	P	P	P	P		
Specialty food or beverage shop	P	P				
Brewery taproom	PS	PS	PS	PS	PS	See Chapter 10
Tavern	PS	PS		PS		See Chapter 10
Retail Sales & Personal Services						
Animal hospital		P	P			See Division 25-09-100
Automotive fuel station	P	P				
Automotive sales or rental		C				See Division 25-09-100
Automotive service and repair		PS				See Division 25-09-100

Principal Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Automotive towing service				C		See Division 25-09-100
Cannabis lounge		P		P		
Cannabis or hemp retailer		P				
Car wash		C				See Division 25-09-100
Commercial center	P	P				
Dry cleaning service		P				
Dwelling, apartment mixed use	P					
Kennel, commercial		C				See Division 25-09-100
Off-site service business		PS		PS		See Division 25-09-100
Pawnshop		PS				See Chapter 9, Article 1
Pet shop	P	P				
Precious metal dealer		PS				See Chapter 9, Article 1
Self service laundry		P				
Standalone retail or service business	P	P	PS			
Tattoo and body art establishment	P	P				
<b>Business &amp; Technical Services</b>						
Art studio	P	P		P		
Office	P	P	P	P	P	
Showroom			P	P	P	
Laboratory, research, and/or development facility				P	P	
<b>Industrial</b>						
Bulk storage of liquid					P	
Brewery, winery, distillery, meadery	P	P	P	P	P	
Cannabis combination business					P	
Cannabis or hemp industrial business					P	
Microbrewery or microdistillery	P	P	P	P	P	
Data center				C	C	
Manufacturing, heavy					P	
Manufacturing, light		<u>P</u>		P	P	
Self-service storage facility				PS		
Warehousing				P	P	
Wholesale trade establishment				P		



Principal Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Public & Institutional						
Clinic	P	P	P	P		
Club or lodge	P	P				
Day care facility, 13-16 persons	P					
Day care facility, 17+ persons	P	P	P	P		
Financial institution	P	P				
Funeral home, mortuary		P				
Government use	C	C	C	C	C	
Hospital			P			
Place of worship	C	C	C	C	C	
School, elementary, middle, or secondary	C	C	C	C	C	
School, post-secondary			C			
School, vocational		C	C			
Entertainment & Recreation						
Adult establishment		PS	PS	PS	PS	See Division 25-09-100
Commercial event center		C	C	C		
Commercial recreation facility, indoor	P	P	P	P		
Commercial recreation facility, outdoor		P	P	P		
Health and athletic club facility	P	P	P	P		
Public recreational facility	C	C	C	C	C	
Public park or playground	P	P	P	P	P	
Social or cultural facility	C	C	C	C	C	
Agriculture & Forestry						
Nursery, tree farm, or greenhouse		P		P		
Utilities & Transportation						
Cannabis delivery/transporter business				P		
Essential service facility	PS	PS	PS	PS	PS	See Division 25-09-100
Public parking facility	C	C	C			
Tower or wireless facility				PS	PS	See Division 25-09-100
Truck terminal					P	
Wind energy conversion system		PS			PS	See Division 25-09-100

Table 06-2. Accessory Use Table – Non-Residential Districts

Accessory Use	Zoning Districts					Use Standards
	MX	B-1	B-2	B-3	B-4	
Accessory office	PS	PS	PS	PS	PS	See Division 25-09-200
Accessory retail or service	PS	PS	PS	PS	PS	See Division 25-09-200
Accessory warehousing	P	P	P			
Accessory building	PS	PS	PS	PS	PS	See Division 25-09-200
Adult establishment, accessory		PS	PS	PS	PS	See Division 25-09-100
Antenna and/or telecommunication support structure	C	C	C	C	C	See Division 25-09-100
Car wash		C				See Division 25-09-100
Catering establishment	P	P				
Cemetery	PS	PS	PS	PS	PS	See Division 25-09-200
Construction-related temporary use	P	P	P	P	P	
Day care facility, group family						
Drive-through facility	PS	PS				See Division 25-09-200
Electric vehicle charging station	PS	PS	PS	PS	PS	See Section 25-10-308
Incidental repair or processing necessary to conduct a permitted principal use		P		P	P	
Laboratory			P	P	P	
Mobile food unit	PS	PS	PS	PS	PS	See Chapter 9, Article 15
Outdoor dining	PS	PS	PS	PS		See Division 25-09-200
Outdoor display		PS		PS		See Division 25-09-200
Outdoor sales		PS				See Division 25-09-200
Outdoor storage				PS	PS	See Division 25-09-200
Parking and/or loading facility	P	P	P	P	P	
Recreational amenity, private	P					
Sacred community	PS	PS	PS	PS	PS	See Division 25-09-100
Solar energy system, small-scale	P	P	P	P	P	

**Section 7.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-09, Division 25-09-200, Section 25-09-201, is amended to read as follows:

**Sec. 25-09-201. Accessory Building**

- (a) An accessory building shall be considered an integral part of the principal building if it is connected to the principal building by a covered passageway.
- (b) No accessory building or use shall be constructed or developed on a lot prior to the time of construction of the principal building to which it is accessory, except by Interim Use Permit.
- (c) Accessory buildings on residential lots that are not designed for the storage of personal property or vehicles, or are not designed for human occupancy, shall not count towards the allowed number of accessory buildings. Examples include, but are not limited to, chicken coops, greenhouses, gazebos, or recreational or playground equipment.

**(d) Building Size**

- (1) ~~Single-unit~~ Parcels of land containing single-unit dwellings ~~are allowed~~ may have one (1) attached or detached private garage on the same lot. The maximum area of the private garage ~~shall~~ must not exceed one thousand (1,000) square feet.
- (2) In addition to one (1) private garage, parcels of land containing single-unit dwellings ~~are allowed a second accessory building up to~~ may have an accessory building that does not exceed two hundred (200) square feet in size.
- (3) A Conditional Use Permit is required for an additional private garage or accessory building that exceeds two hundred (200) square feet in size subject to the following criteria.
  - (A) The parcel of land where the private garage or accessory building is to be located may not be subdivided as long as the private garage or accessory building is on the property.
  - (B) The private garage or accessory building must not be of a pole building type construction (defined as a structure that utilizes treated lumber buried in the ground that serves as the building foundation).
  - (C) The private garage or accessory building must not have a door or other access opening shall exceed ten (10) feet in height.
  - (D) The private garage or accessory building must not be used for commercial or industrial activities, except as allowed by the regulations governing home occupations.
  - (E) The private garage or accessory building shall not exceed 1,500 square feet in size.
  - (F) The private garage or accessory building shall not exceed 25 feet in height.
  - (G) Access to a private garage must be by a driveway surfaced with bituminous, concrete, brick, Class V, or other materials as approved by the City.

~~(1) Parcels of land containing single-unit dwellings must not have more than one additional private garage or accessory building exceeding two-hundred (200) square feet in size.~~

(e) Building Location

(1) No detached garage or other accessory building shall be located nearer the front lot line than the principal building on that lot.

~~(2)~~ Except for accessory agricultural buildings, no accessory buildings shall be erected or located within any required side yard setback or within any utility easement.

~~(2)(3)~~ Detached private garages and accessory buildings shall be setback a minimum of ten (10) feet from rear and side property lines in the R-1 district, and five (5) feet from rear and side property lines in all other residential districts.

(f) Building Height

(1) Accessory agricultural buildings are exempt from building height requirements.

(2) Accessory buildings and garages in Residential Districts shall not exceed the height of the principal structure.

(3) Split Elevation Lots: When the principal structure is at the lower elevation, the maximum height of the accessory building is restricted to sixteen (16) feet if the roof line of the accessory building exceeds the height of the roof line of the principal structure. See additional height requirements in Division 25-05-400 Lot and Site Dimensions.

(4) Accessory buildings in a Commercial or Industrial District may exceed the height of the principal structure with approval of a Conditional Use Permit.

(g) Exterior Building Materials

(1) Accessory buildings for commercial, industrial, institutional, mixed-use, and multifamily uses shall be of the same exterior material, quality and appearance as the principal structure.

(2) Accessory buildings shall not be pole building type construction (defined as a structure that utilizes treated lumber buried in the ground that serves as the building foundation) nor prefabricated metal exterior materials.

**Section 8.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-10, Division 25-10-200, is amended to read as follows:

**Sec. 25-10-200. Exterior Building Materials**

(a) It is the intent of this division to promote high standards for new building design and construction in the city. These exterior building material standards are set forth in order to enhance the visual appearance of the non-residential, large apartment, and mixed use apartment buildings; to prevent the physical deterioration of buildings; to increase the City's tax base; to promote the general welfare of the community; and

ensure new development and redevelopment contributes to enhancing the community's character and image.

- (b) Exterior building material standards shall apply to all non-residential, apartment, and mixed use apartment buildings.
- (c) Primary exterior building materials are categorized into three classes – Class I, Class II, Class III - and shall be applied in the following manner:
  - (1) To qualify as a primary material, a building material must comprise at least five (5) percent of the exterior building facades.
  - (2) Garage doors, window trim, flashing accent items and the like, shall not constitute primary materials.
  - (3) The use of Class II or III materials may be vary for each building facade as long as the average across all building facades meets the minimum or maximum standards.
- (d) Primary classes of materials. For the purpose of this division, primary materials shall be categorized as Class I; Class II; and Class III as follows:
  - (1) Class I shall be considered high-quality building materials that are long-lasting and able to withstand wear and tear. Class I materials are considered architecturally desirable and are designed for the climate conditions the material will commonly be exposed to resulting in a typical material life expectancy of 40 years or more.
  - (2) Class II shall be considered standard building materials. Class II materials are considered architecturally desirable and are designed for the climate conditions the material will commonly be exposed to resulting in a typical material life expectancy of 20 years or more.
  - (3) Class III shall be considered lower-cost and trim grade materials. Class III materials are considered aesthetically incompatible as a primary building material with Class I or Class II materials or are materials which are typically more prone to damage or degradation of material quality from weatherization resulting in a typical material life expectancy of 20 years or less.

Table 10-1. Exterior Building Material Classes

Material Class	Materials Included
Class I	Brick or thin-veneer brick systems
	<ul style="list-style-type: none"> <li>- For the purpose of counting number of distinct materials used, a distinctively different color of brick may be considered as a second Class I material.</li> <li>- Minor blended color variations shall not be counted as a separate material.</li> </ul>
	Natural stone or architectural precast stone
	Glass <ul style="list-style-type: none"> <li>- No glass located on the ground floor of non-residential buildings shall be opaque, colored, or have any reflective mirror type coating unless it is bird-friendly glass</li> </ul>

Material Class	Materials Included
	Fiber cement wall panel systems
	Copper or stainless steel panels
Class II	Specialty concrete block such as textured, burnished block, or rock faced block
	Architecturally textured precast concrete panels (except raked finish)
	Masonry stucco
	Exterior insulation and finish systems (EIFS)
	Architectural metal wall panel systems
	Other comparable or superior materials
Class III	Opaque panels
	Smooth scored concrete block
	Ceramic finished concrete block
	Glass block
	Wood
	Other comparable or superior materials
Prohibited	Corrugated metal Plastic Sheet fiberglass Plaster Panels systems with exposed fasteners

- (e) Buildings shall be composed of materials from Table 10-1 Exterior Building Material Classes in the following manner:

Table 10-2. Exterior Building Material Distribution

Use	Class I	Class II	Class III
Non-residential, <del>except in all districts and</del> industrial <u>uses in the B-2 zoning district</u>	70% minimum; Minimum of 3 materials <sup>1</sup>	30% maximum	15% maximum
Industrial ( <del>except in the B-2 zoning district</del> )	50% minimum; Minimum of 2 materials	50% maximum	15% maximum
Apartment and mixed use apartment buildings	60% minimum	40% maximum	15% maximum

Use	Class I	Class II	Class III
<sup>1</sup> Buildings may be constructed primarily of one (1) specific Class 1 material provided the design is superior to the general intent of this division and provides variation in detailing, footprint of the structure, or deviations in long wall sections to provide visual interest.			

**Section 9.** The Code of Ordinances, City of Oakdale, Minnesota, Chapter 25, Article 25-11, Division 25-11-200, Section 25-11-205, is amended to read as follows:

**Sec. 25-11-205. Electronic Message Signs**

(a) All electronic message signs, including dynamic billboards, shall meet the following standards:

- (1) The lamp wattage and luminance level in Nits shall be provided at the time of permit application.
- (2) Public service messages, in addition to messages such as Amber Alerts, are to be provided at no cost to the public.
- (3) Electronic dynamic business signs are prohibited as temporary signs.
- (4) Electronic message signs must have minimum display duration of 30 seconds.
- (5) The sign must be rectangular in shape and all messages contained within.

(b) Additional standards for dynamic billboards:

- (1) Such displays shall contain static messages only; change from one (1) static message to another shall be instantaneous without any special effects, through dissolve or fade transitions, or with the use of other subtle transition that do not have the appearance of moving text or images.
- (2) The sign shall not be allowed on any buildings.
- (3) All electronic message signs shall have installed ambient light monitors and shall, at all times, allow such monitors to automatically adjust the brightness level of the electronic sign based on light conditions.
- (4) Electronic message signs shall not exceed two thousand five hundred (2,500) Nits between the hours of civil sunrise and civil sunset and shall not exceed five hundred (500) Nits between the hours of civil sunset and civil sunrise as measured from the face of the sign.
- (5) Electronic message signs shall have a fully functional monitoring off switch system that automatically shuts the electronic display off when the display deteriorates, in any fashion, five (5) percent or greater until the electronic display sign has been repaired to its fully functional factory specifications.
- (6) When a static billboard is replaced with an electronic message sign, a permanent removal of two (2) square feet of existing static billboard shall be required for every one (1) square foot of electronic message sign.

- (7) Conversion of a nonconforming static billboard sign to a dynamic display electronic message sign is prohibited.
- (c) For institutional uses in residential districts, electronic message signs are allowed as part of the total area of any freestanding sign, with the following standards:
- (1) A conditional use permit is required.
  - (2) The electronic portion of the sign not to exceed thirty-two (32) square feet.
  - (3) Electronic message signs shall not exceed two thousand five hundred (2,500) Nits between the hours of civil sunrise and civil sunset, as measured from the sign face.
  - (4) The electronic portion of the sign may not be illuminated between 10:00 pm and 6:00 am, and shall have a maximum of two hundred fifty (250) Nits from civil sunset to civil sunrise, as measured from the sign face. The City Council may extend the hours of illumination if the proposed sign is located at least one hundred (100) feet from a residential property boundary.
  - (5) Signs shall have a fully functional off switch that automatically shuts the electronic display sign off when the display deteriorates ten (10) percent or greater.
- (d) In commercial districts, electronic message signs are allowed as part of the total area of a permitted freestanding sign, with the following standards:

(1) A conditional use permit is required.

(1)(2) Signs shall not exceed two thousand five hundred (2,500) Nits between the hours of civil sunrise and civil sunset and shall not exceed five hundred (500) Nits between the hours of civil sunset and civil sunrise, as measured from the sign face.

(2)(3) Signs adjacent to residential properties shall be shut off from 10 pm to 6 am or have a maximum of two hundred fifty (250) Nits from civil sunset to civil sunrise.

(3)(4) Signs shall have a fully functional off switch that automatically shuts the display sign off when the display deteriorates ten (10) percent or greater.

**Section 10.** Incorporation. City staff is authorized and directed to update the table of contents, reformat this ordinance, and to make such other non-substantive changes as are necessary to incorporate the amendments adopted by this ordinance into the Oakdale city code.

**Section 11** This Ordinance shall take effect and be in full force from and after its adoption and publication, as provided by law.

AYES: Mayor Zabel, Councilmembers Moore, Morcomb, Severson, and Wrich



NAYS:           None

Adopted this 27<sup>th</sup> day of January, 2026 by the Oakdale City Council.

---

Kevin Zabel, Mayor

Attest:

---

Sara Ludwig, City Clerk

Posted:

Published:

Text with ~~strikeout~~ is proposed for deletion.

Text with underline is proposed for insertion.



# PLANNING COMMISSION REPORT

To:	Oakdale Planning Commission
Meeting Date:	January 8, 2026
Applicant:	City of Oakdale
Location:	1584 Hadley Avenue North
Request(s):	Site Plan Amendment Approval
Prepared/Presented:	Luke McClanahan, City Planner

## LOCATION & REQUEST DETAILS

The City of Oakdale, working with a project team consisting of Don Theisen (the City's representative), BKV Group, and Karaus-Anderson Construction, propose an expansion of City Hall and the Police facility located at 1584 Hadley Avenue North. The existing building consists of approximately 16,847 square feet. The expansion would add approximately 27,141 square feet, resulting in a total building size of approximately 43,988 square feet. The expansion and associated renovation work is intended to better accommodate the City's growing need for additional personnel, vehicles, and equipment, thereby enhancing public services for the community.

Location Map – City Hall & Police Department



Two voluntary open house events were held during the week of December 15, 2025, to provide the public with information about the expansion and renovation project. The City also published a [video](#) that offers a comprehensive overview of the project and explains the need to modernize the facilities. Additionally, the City maintains a [project webpage](#) that is dedicated to providing status updates.

## COMPREHENSIVE PLAN DESIGNATION

Per the City's 2040 Comprehensive Plan, the property is guided for Institutional use.

## ZONING DISTRICT REQUIREMENTS

The property is zoned R-3 Medium Density Residential, where government uses are allowed through the Conditional Use Permit process. A Conditional (Special) Use Permit was approved on May 14, 1991, for the City Hall/Police Department building, and it remains in effect.

The designations of the surrounding property are displayed in the table below:

Orientation	Comprehensive Plan	Zoning District	Existing Use
North	Medium Density Residential	Planned Unit Development	Residential
South	Low Density Residential	R-2 Medium Density Residential	Residential
East	Medium Density Residential	R-2 Medium Density Residential	Residential
West	High Density Residential	Planned Unit Development	Residential

## SITE PLAN STANDARDS

Site Plan review considers the relationship between the plan elements and conditions both on and off the property to ensure conformance with the Comprehensive Plan, Zoning Code, and design standards.

- (1) Setbacks and Height:* The proposed expansion meets the setback requirements for buildings in the R-3 zoning district as the building would be approximately 85 feet from the southern property line (along 15<sup>th</sup> Street N). The building is not proposed to expand further east; toward Hadley Avenue N. It would remain setback approximately 60 feet from the east property line. At 36 feet, the tallest part of the building, the new lobby, does not exceed the zoning height restriction of 40 feet.
- (2) Access, Circulation, and Parking:* A new access off 15<sup>th</sup> Street North will function as the primary public entrance to City Hall and the Police Department. This area will contain 49 parking spaces, including 2 ADA (the Americans with Disabilities Act) accessible parking spaces.

The two existing accesses off Hadley Avenue N will remain. The south access will be restricted, via gates, to City staff parking only. This area will include 38 staff parking spaces, including 4 ADA parking spaces. There will also be 29 secure surface parking spaces for Police vehicles along the north side of the new facility. Additional Police vehicles will be kept indoors within a portion of the new building. The north access will remain as an entryway for the public utilizing Walton Park and will maintain 127 parking spaces, including 5 ADA parking spaces.

The overall number of parking spaces located in the southeast portion of Walton Park will be reduced from 281 spaces to 243 spaces. However, the total number of proposed parking spaces meet and exceed the City's Zoning requirements, which are a minimum of 110 parking spaces. By and large, the existing parking spaces in this area remain underutilized with a few exceptions throughout the year (e.g., Summerfest, softball tournaments). Additionally, the other parking facilities at Walton Park will remain.

- (3) Exterior Building Materials and Design:* In accordance with Sec. 25-10-200(e) of the Zoning Ordinance, non-residential buildings must be comprised of at least 70% Class I materials, no more than 30% Class II materials, and no more than 15% Class III materials, as defined by the

Ordinance. With the exception of stained precast concrete panel (which comprises only 3% of the exterior of the building and is considered a Class II material) and existing masonry (which comprises 2% of the exterior), the facades consist entirely of Class I materials including brick, metal panels, and glass. This condition is met.

- (4) *Trash Enclosure*: As required by the Ordinance, the external proposed trash collection area must be of the same material and architecturally harmonious with the principal structure. The elevation details show the enclosure consisting of brick walls and metal gates.

- **As required by the Zoning Ordinance, the external trash area must have a roof.**

- (5) *Landscaping*: The project team provided a tree preservation/removals plan and a landscaping plan. 64 trees are proposed to be removed as part of the building expansion work. 103 new trees will be planted as part of the landscaping plan. 53 shrubs will also be planted around the site. The quantity and size of the proposed landscaping trees meet and exceed the City's tree replacement requirements.

- (6) *Screening of Rooftop Utilities*. As required by Sec. 25-10-701(b)(4)(A) of the Ordinance, rooftop equipment must be screened with materials comparable and compatible with that of the exterior building materials. Currently, no information on rooftop equipment screening is provided.

- **Information must be provided to show rooftop equipment and methods of screening.**

- (7) *Site Lighting*: As required by the Ordinance, lighting may not exceed 0.5 foot-candles at any property line. The photometric plan provided as part of the application submittal shows that the maximum illumination along the south property line (along 15<sup>th</sup> Street N) and the east property line (along Hadley Avenue N) does not exceed 0.2 foot-candles. This requirement is met.

- (8) *Signage*: All signage must conform to the City's sign regulations. Final details for signage remaining pending and the project team must obtain approval for proposed signage.

- (9) *Grading and Utilities*: The applicant submitted plans for grading and utilities. Stormwater runoff for this site will be managed by a detention basin located on the west side of the City Hall/Police facility, and an underground stormwater system located within the north parking area.

- **The project team must work with the Ramsey Washington Metro Watershed District on stormwater management provisions.**
- **The project team must obtain approval from the City Engineer for their site civil plans.**

- (10) *Other Regulatory Review*: As mentioned, the project team must work with the Ramsey Washington Metro Watershed District to satisfy stormwater management provisions.

## **60-DAY RULE**

Application Deemed Complete: December 3, 2025

60-Day Review Deadline: February 1, 2026

Extension Granted To: N/A

Planning Commission Meeting: January 8, 2026

Expected City Council Action: January 27, 2026

**ROLE OF THE PLANNING COMMISSION**

The role of the Planning Commission is to review the Site Plan Amendment request in conformance with the Comprehensive Plan and Zoning Ordinance requirements and provide a recommendation to the City Council.

**RECOMMENDATION**

Staff have determined that the Site Plan Amendment is consistent with the Comprehensive Plan and meets the requirements of the Zoning Ordinance, provided that certain conditions are met. Staff recommend approval of this request with the conditions listed in the draft resolution.

**MOTION**

Motion to recommend approval of the Site Plan Amendment for the City Hall and Police Department facility expansion at 1584 Hadley Avenue North.

**ATTACHMENTS**

Development Checklist  
Project Narrative  
Site Plan  
Site Comparison  
Landscaping Plan  
Elevations and Renderings  
Draft Resolution



**Development Checklist**  
City of Oakdale  
1584 Hadley Avenue North  
City Hall and Police Department Facility Expansion

<b>Project name</b>	City Hall and Police Department Facility Expansion
<b>Proposed use</b>	Expanded municipal facility
<b>Existing site conditions</b>	Institutional use
<b>Site access</b>	Existing accesses off Hadley Ave N Proposed access off 15 <sup>th</sup> St N
<b>Zoning</b>	R-3 Medium Density Residential
<b>Comprehensive Plan guidance</b>	Institutional
<b>Is a Comprehensive Plan amendment required?</b>	No
<b>Any Zoning approvals anticipated?</b>	Site Plan amendment
<b>Any Subdivision approvals anticipated?</b>	No
<b>Potential deviations from City Code (if a PUD)?</b>	No
<b>Any Variances requested?</b>	No
<b>Any financial incentives from the City being requested by the developer?</b>	N/A
<b>Will developer seek 4d status?</b>	N/A
<b>Has the developer met with the City's Development Review Committee?</b>	Yes, the project team presented the initial plan to the Development Review Committee (DRC) on September 17, 2025. The DRC reviewed the Site Plan amendment application on December 17, 2025.
<b>Has the developer submitted a formal application?</b>	Yes
<b>Any anticipated environmental impacts?</b>	Runoff from the use must be addressed through stormwater management provisions. Tree replacement requirements must be met.
<b>Has the developer met with the Planning Commission?</b>	The Planning Commission will review the request on January 8, 2026.
<b>Other jurisdiction approvals required</b>	Yes, the Ramsey Washington Metro Watershed District for stormwater management provisions.

**DATE:** 12.2.2025

**TO:** Luke McClanahan, City Planner  
City of Oakdale  
1584 Hadley Avenue N  
Oakdale, MN 55128

**FROM:** Michael Healy AIA, Project Manager

**RE:** **City of Oakdale City Hall & Police Expansion – Site Plan Amendment**

**CC:**

To Whom it May Concern:

The City of Oakdale is submitting a request for a Site Plan Amendment for the City Hall and Police campus located at 1584 Hadley Avenue North. The City is planning an expansion to the existing building to provide the necessary operational space for City Hall and Police.

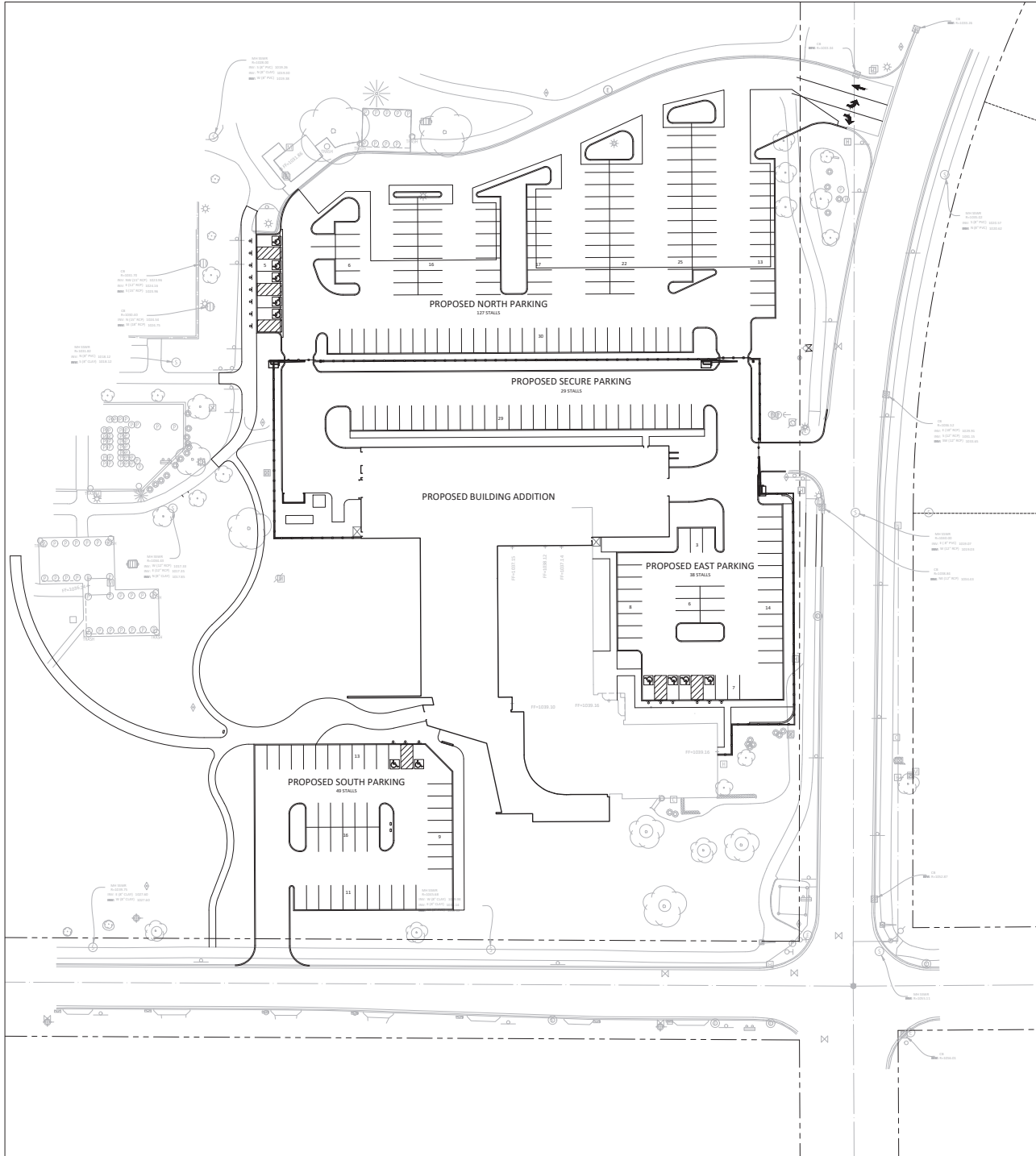
The project includes providing a new public entrance to the facility facing west with a new public surface parking lot at the west. The existing east surface parking lot will be transformed into a secure parking area for police and city staff. The building will be expanded to the west and north to provide required operational space for city departments.

Sincerely,  
**BKV Group**



Michael Healy, AIA  
Project Manager, Partner

**ATTACHMENTS:** None



### NOTES

1. REFER TO SHEET C1.01, GRADING, FOR GENERAL NOTES.
2. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
3. TRAFFIC SIGNS SHALL BE INSTALLED 18" BEHIND THE BACK OF CURB OR EDGE OF PAVEMENT.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD, WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGULME, SHALL RECEIVE AT LEAST 1" OF TOPSOIL AND SHALL BE SODED (OR SEED). ALL AREAS NOT DESIGNATED FOR SOO OR A SPECIFIC SEED MIX, WHICH ARE DISTURBED BY CONSTRUCTION, SHALL BE SEEDD WITH SEED MIX #1.

### LEGEND

	REFERENCE KEY TO SITE DETAILS DETAIL L.D. NUMBER (TOP) DETAIL SHEET NUMBER (BOTTOM)
	PROPOSED CONCRETE WALL
	PROPOSED CONCRETE SLAB
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	PROPOSED MEDIUM DUTY ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED RETAINING WALL
	FENCING KEY NOTE
	PROPOSED TRAFFIC SIGN
	SIGNAGE KEY NOTE
	PROPOSED BOLLARD
	PROPOSED ACCESSIBLE SYMBOL
	PROPOSED MANHOLE (MR)
	PROPOSED CATCH BASIN (CB)
	PROPOSED SURGE BASIN (SB)
	PROPOSED HYDRANT (HYD)
	PROPOSED GATE VALVE (GV)
	PROPOSED FLAGPOLE - REFER TO ARCHITECTURAL PLANS
	PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
	PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
	PROPERTY LINE

### PARKING STATISTICS

EXISTING PARKING COUNTS (281 TOTAL STALLS):  
NORTH PARKING = 234 STALLS  
SOUTH PARKING = 47 STALLS

PROPOSED PARKING COUNTS (343 TOTAL CAR STALLS):  
NORTH PARKING = 127 STALLS  
SECURE PARKING = 29 STALLS  
EAST PARKING = 38 STALLS  
SOUTH PARKING = 40 STALLS

ACCESSIBLE PARKING STALL REQUIREMENTS = 11 STALLS  
ACCESSIBLE PARKING STALLS PROVIDED = 11 STALLS

### LAND USE STATISTICS

CITY PROPERTY (WALTON PARK) = 84.5 ACRES / 3,680,820 SF  
EXISTING CITY HALL / POLICE DEPARTMENT = 0.39 ACRES / 16,847 SF  
PROPOSED BUILDING ADDITION = 0.62 ACRES / 27,141 SF  
TOTAL BUILDING = 1.01 ACRES / 43,988 SF

**BKV**  
GROUP

Architecture  
Interior Design  
Landscape Architecture  
Engineering

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[www.bolton-menk.com](http://www.bolton-menk.com)

PROJECT TITLE:

**OAKDALE  
POLICE  
DEPARTMENT**

ISSUE #	DATE	DESCRIPTION

### CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 11/20/2024 Reg. No.: 88028

Signed: William J. Davis

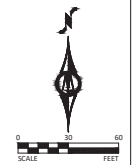
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CHECKED BY: CMR  
CROSSCHECK NUMBER: 285241  
SHEET TITLE:

**SITE PLAN**

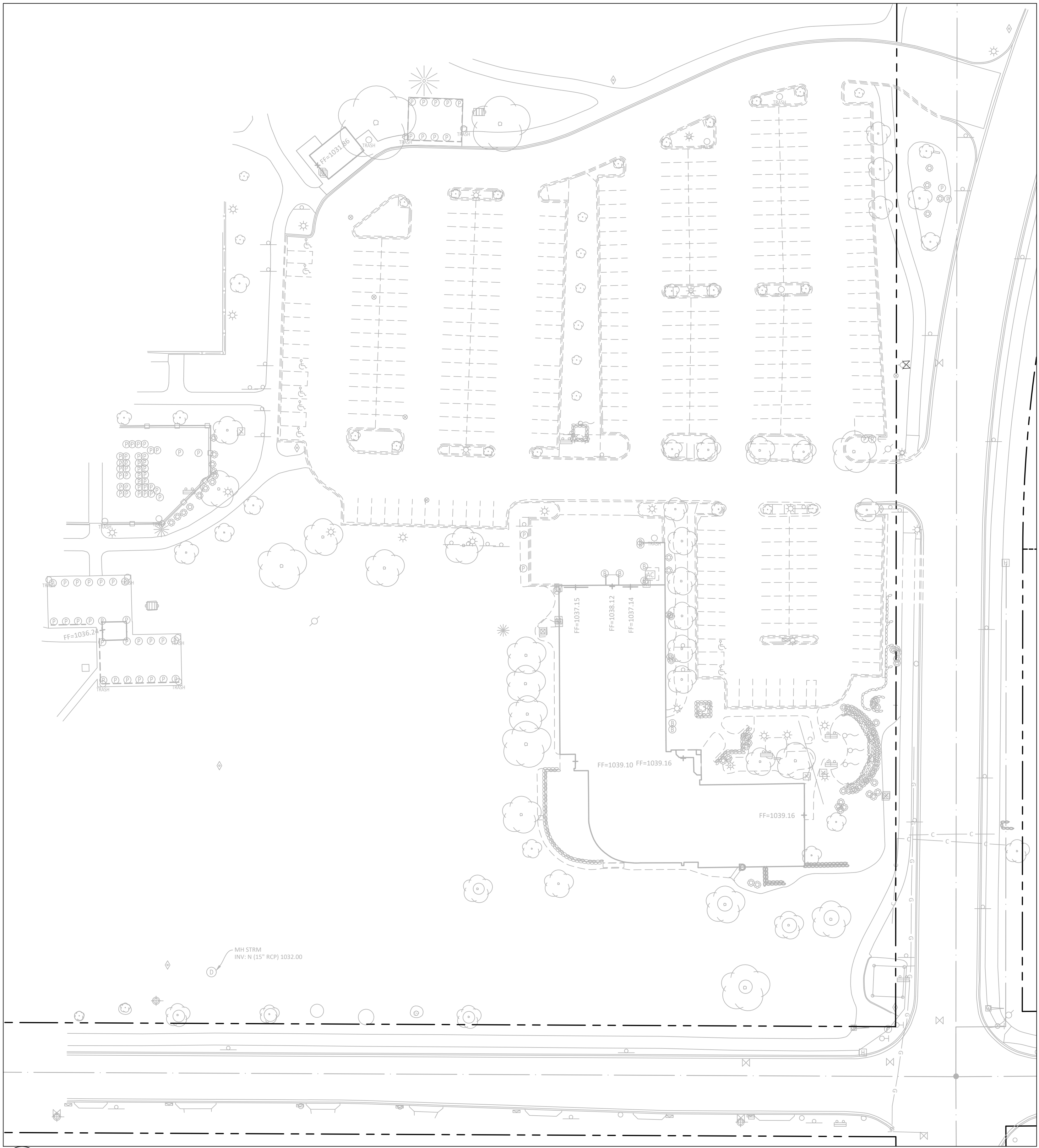
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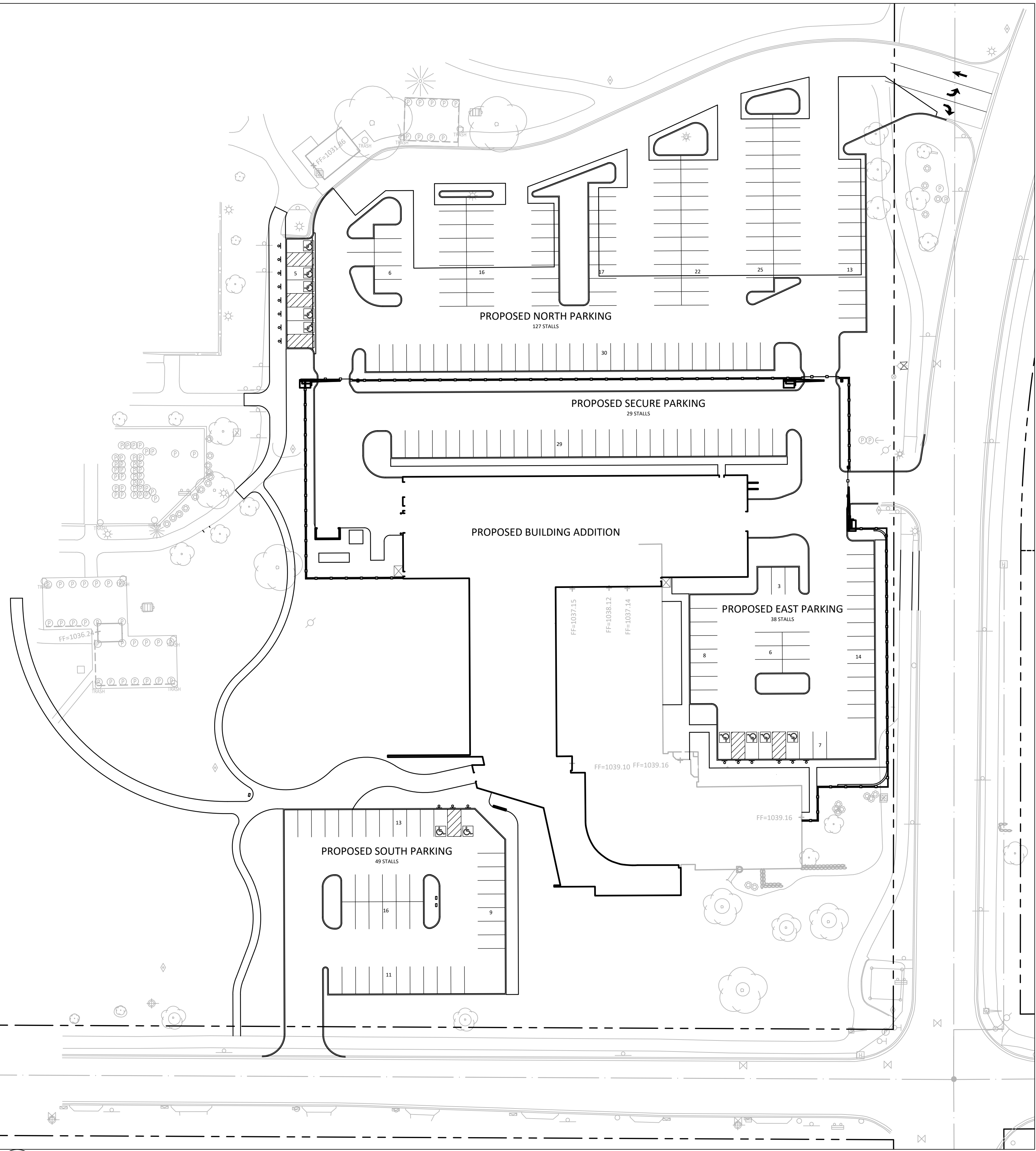
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ORIGINAL SITE PLAN



PROPOSED SITE PLAN

ISSUE #	DATE	DESCRIPTION

CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date 11/20/2024 Reg. No. 59532

Signed: William J. Diede

DRAWN BY	
CHECKED BY	DAR
COMMISSION NUMBER	2653-01

SHEET TITLE

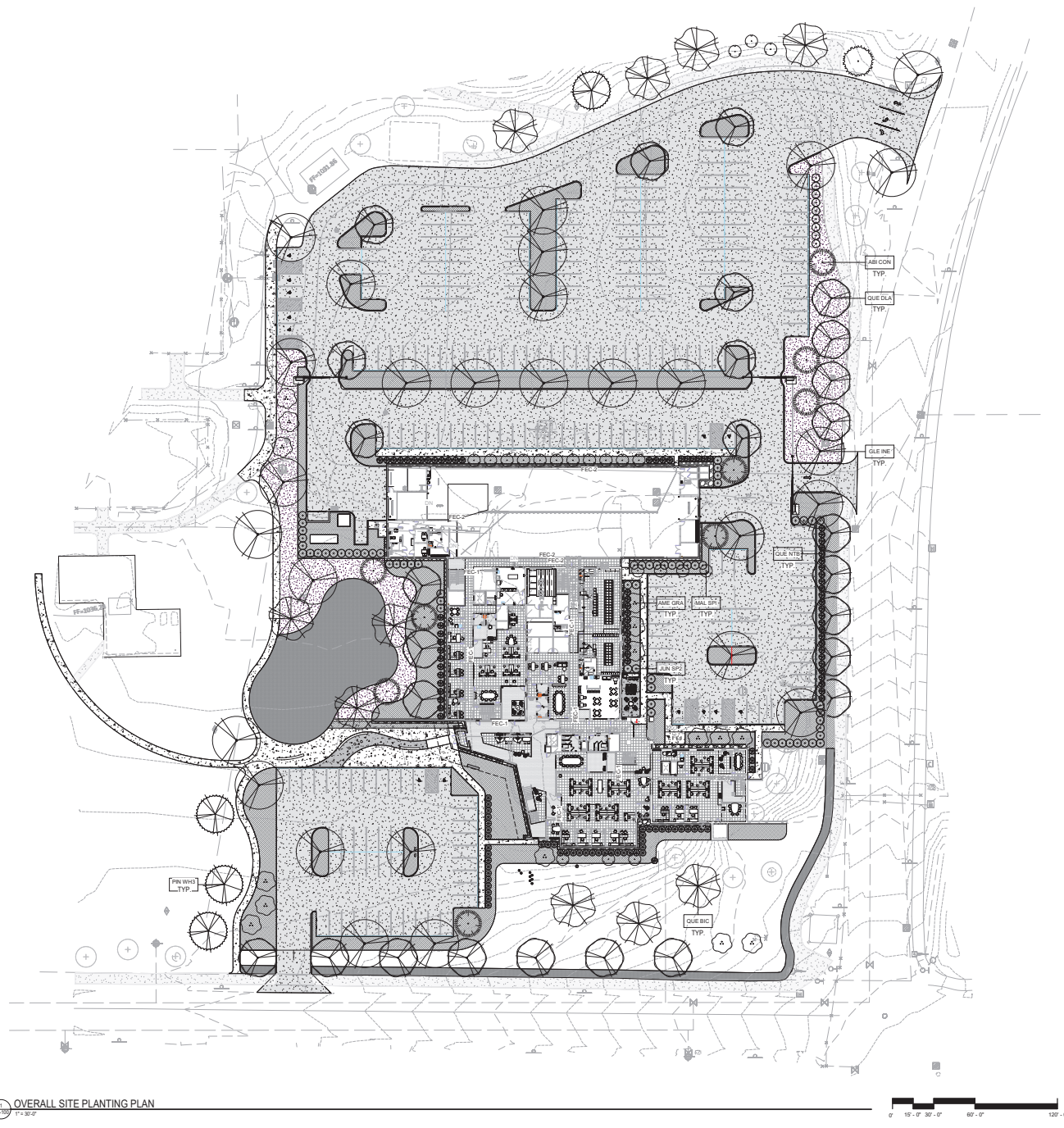
SITE COMPARISON

SHEET NUMBER

EX 1

Autodesk Docs (2/20/2025) Oakdale PD-CH Remodel & Exp (2/20/2025) 01 Oakdale PD-CH LAND\_2025.v4  
12/30/2025 6:07:29 PM

OVERALL SITE PLANTING PLAN  
1"=50'-0"



#### PROPOSED PLANT SCHEDULE:

Default Plant Schedule				
Plant Code	Botanical Name	Common Name	Size	Count
Deciduous Trees				
GLE INE	Gleditsia triacanthos 'Inermis'	Skyline® Honey Locust	3" CAL.	28
QUE BIC	Quercus bicolor	Swamp White Oak	3" CAL.	10
QUE DLA	Quercus ellipsoidalis	Majestic Oaks™ Baldpate	3" CAL.	27
QUE NTB	Quercus robur x bicolor 'Nadler'	Kindred Spirit® Oak	3" CAL.	77
TOTAL DECIDUOUS TREES: 142 @ 3" EA. = 426 CALPER INCHES				
Evergreen Trees				
ABI CON	Abies concolor	White Fir	6' HT. (1.5" CAL.)	9
PIC ABI	Picea abies	Norway Spruce	6' HT. (1.5" CAL.)	1
PIN WH3	Pinus alba	White Pine	-	4
TOTAL EVERGREEN TREES: 14 @ 1.5" EA. = 21 CALPER INCHES				
Ornamental Trees				
AME GRA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" CAL.	15
MAL SPI	Malus x 'Pink Spires'	Pink Spires Crabapple	1.5" CAL.	21
TOTAL EVERGREEN TREES: 34 @ 1.5" EA. = 54 CALPER INCHES				
Evergreen Shrubs				
JUN FOR	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5 CONT.	48
JUN SP2	Juniperus chinensis 'Spartan'	Spartan Juniper	3' HT (20 CONT.)	72
Perennials				
ARO LSC	Aronia melanocarpa 'L'CONNAM'65'	Low Scape Mound® Black Chokeberry	#3 CONT.	8
NEP WAL	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	#3 CONT.	1

TOTAL SIGNIFICANT CAL IN. REMOVED: 436

TOTAL CAL IN. PROPOSED: 501

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Landscape Architecture  
Engineering

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Minneapolis, MN  
55401

612.339.3752

www.bkvgroup.com

CONSULTANTS

PROJECT TITLE  
OAKDALE POLICE  
EXPANSION AND  
CITY HALL  
REMODEL

ISSUE | DATE | DESCRIPTION

#### CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the state of Minnesota.

Colin Koonce  
LA 63862  
License Number

12/30/2025  
Date

DRAWN BY  
CHECKED BY  
COMPOSED BY

2/20/25

SHEET TITLE

OVERALL SITE  
PLANTING PLAN

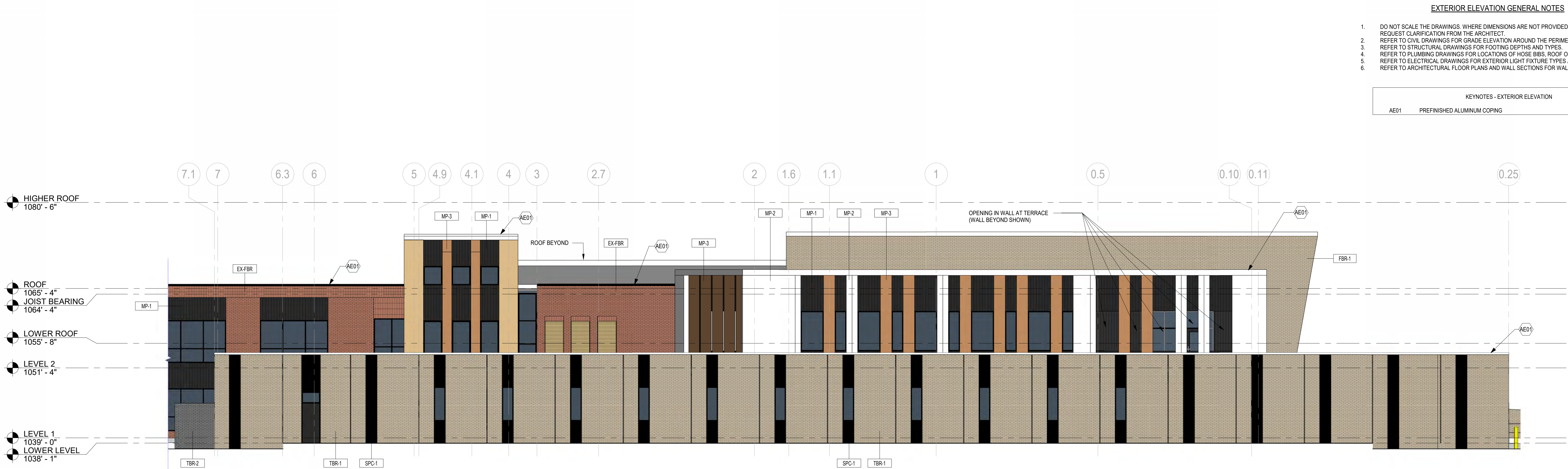
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LP-100

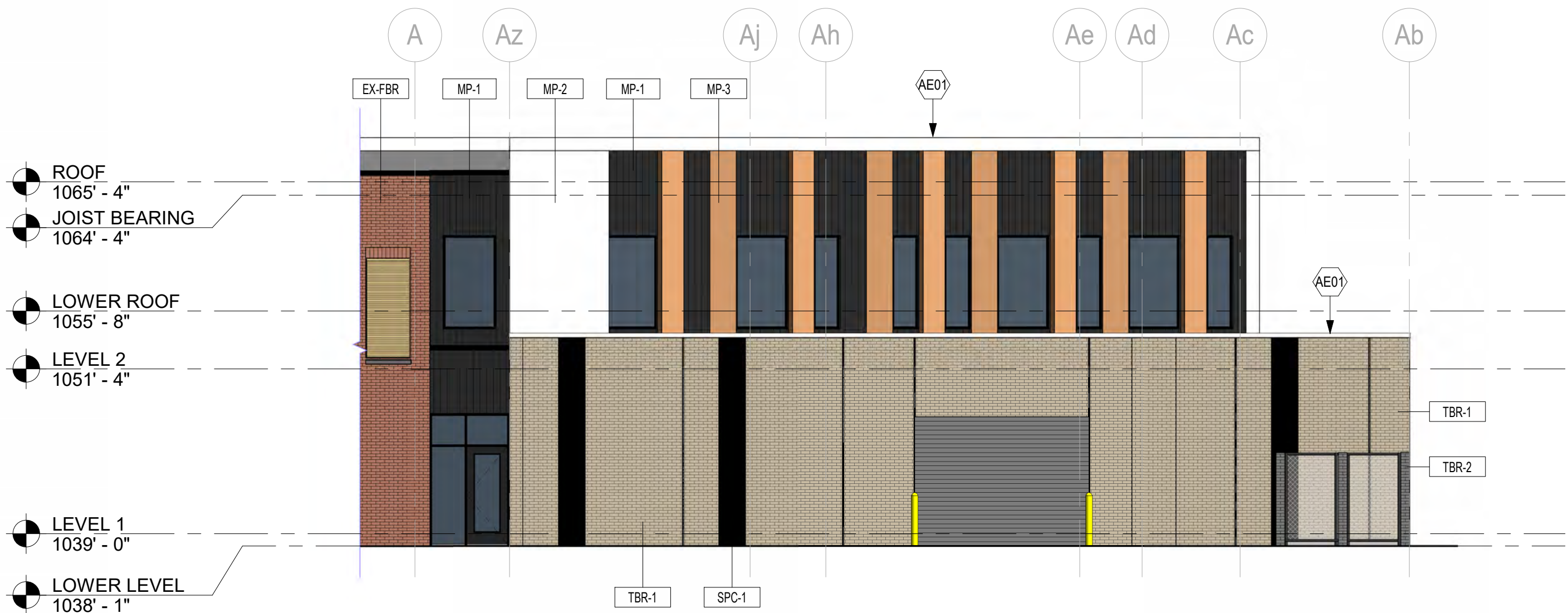
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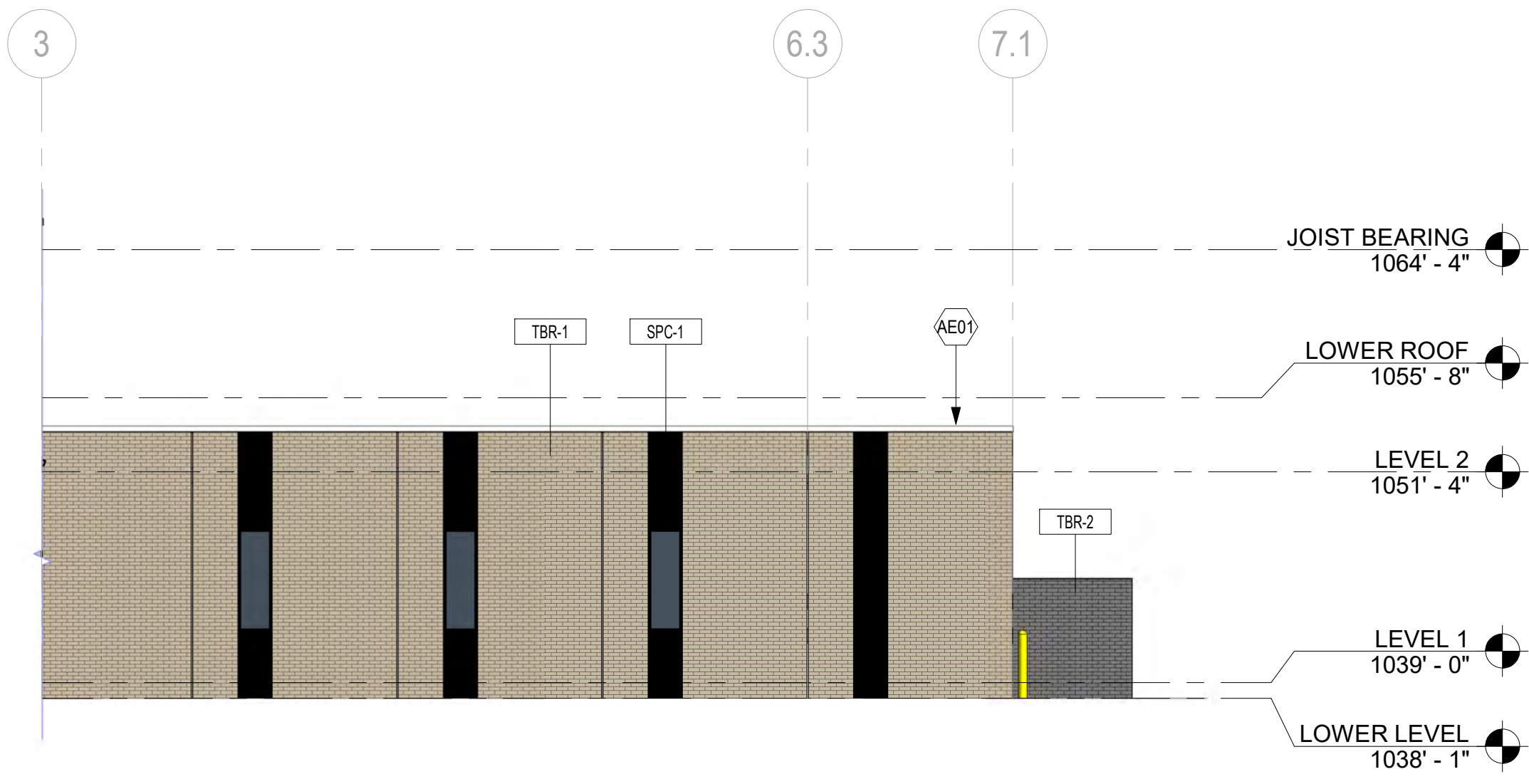
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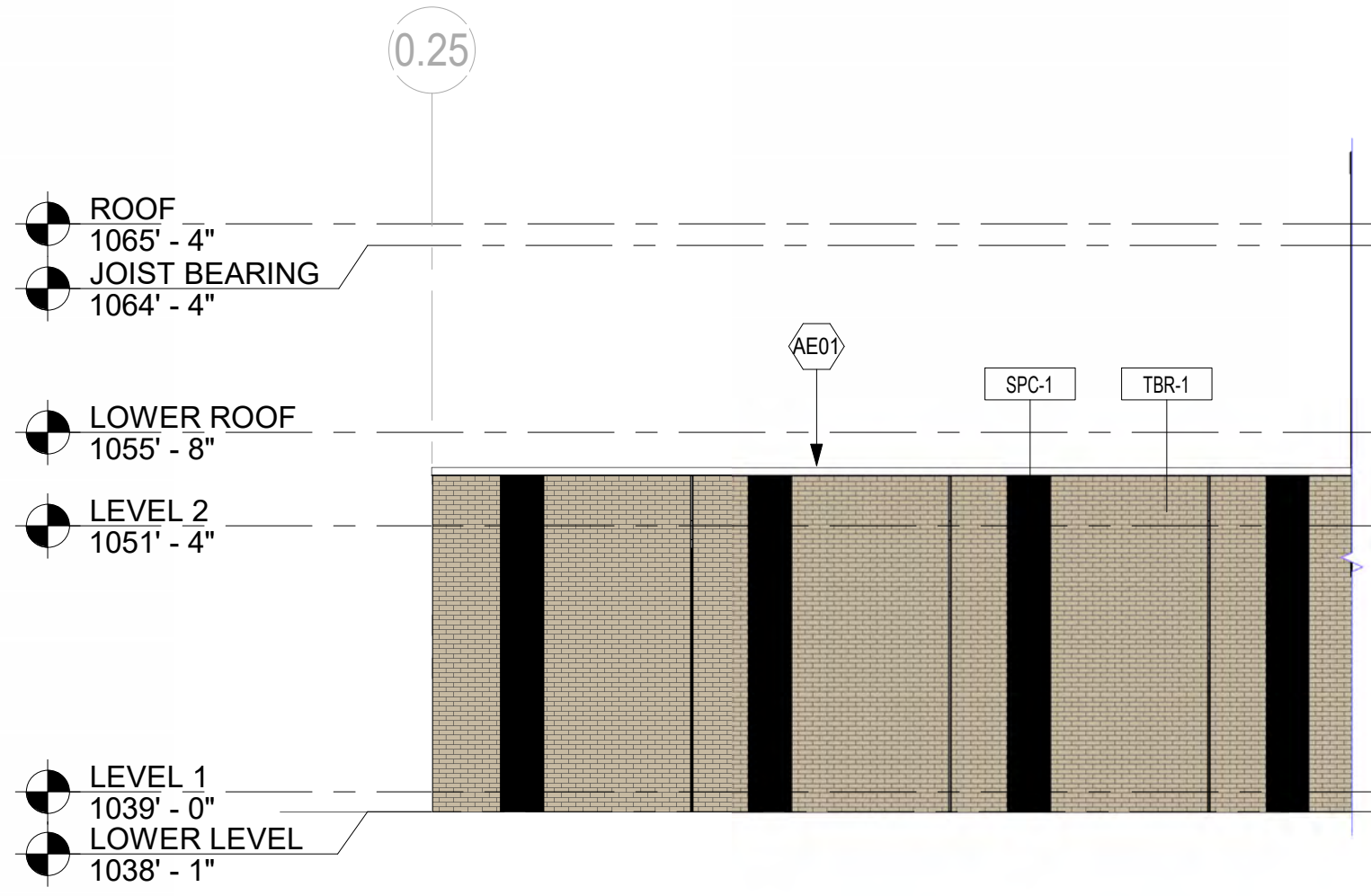
1 EXTERIOR ELEVATION - PD GARAGE - NORTH  
A401 1/8" = 1'-0"



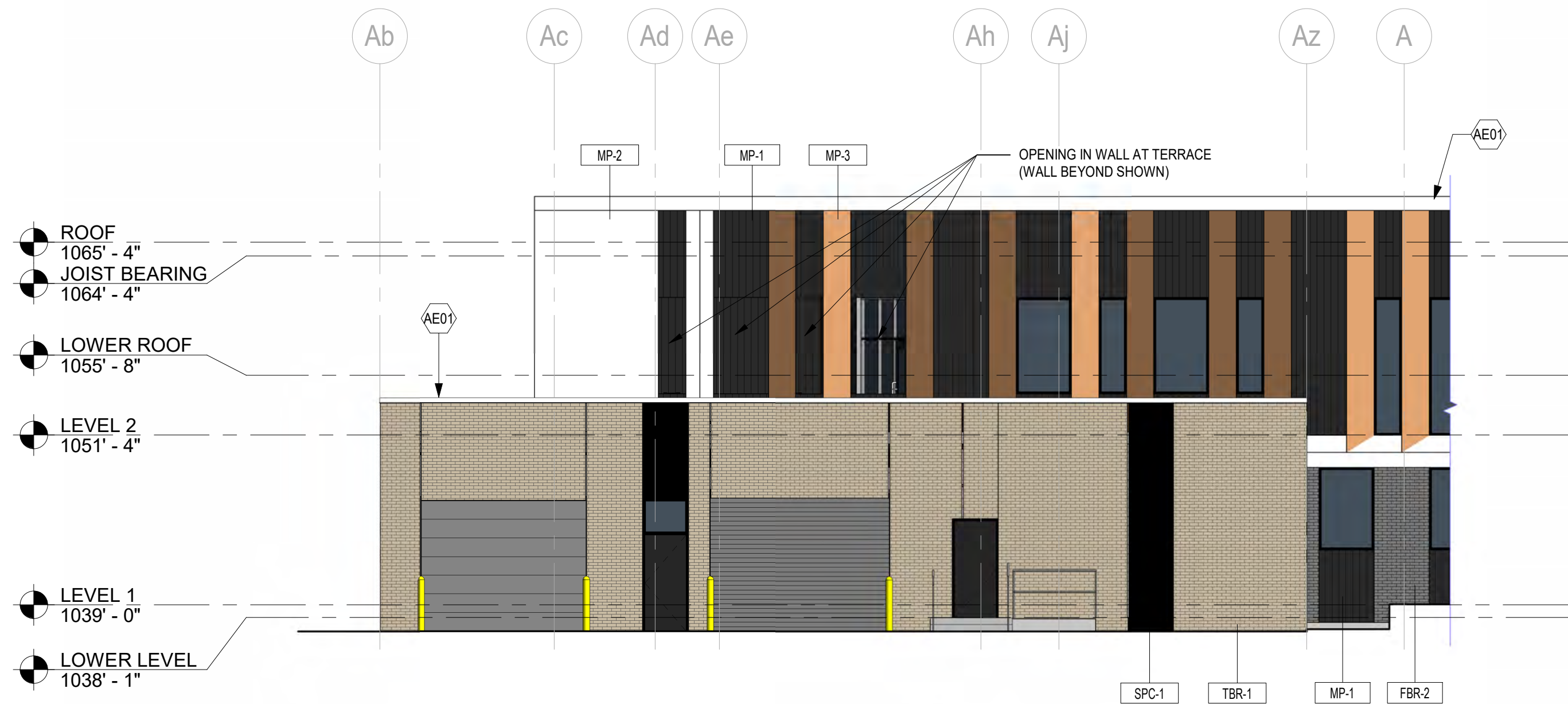
2 EXTERIOR ELEVATION - PD GARAGE - EAST  
A401 1/8" = 1'-0"



3 EXTERIOR ELEVATION - PD GARAGE - SOUTH-1  
A401 1/8" = 1'-0"



4 EXTERIOR ELEVATION - PD GARAGE - SOUTH-2  
A401 1/8" = 1'-0"



5 EXTERIOR ELEVATION - PD GARAGE - WEST  
A401 1/8" = 1'-0"

#### EXTERIOR ELEVATION GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. WHERE DIMENSIONS ARE NOT PROVIDED OR ARE UNCLEAR, REQUEST CLARIFICATION FROM THE ARCHITECT.
- REFER TO CIVIL DRAWINGS FOR GRADE ELEVATION AROUND THE PERIMETER OF THE BUILDING.
- REFER TO STRUCTURAL DRAWINGS FOR FOOTING DEPTHS AND TYPES.
- REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF HOSE BIBS, ROOF OVERFLOW DRAINS, ETC.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURE TYPES AND LOCATIONS.
- REFER TO ARCHITECTURAL FLOOR PLANS AND WALL SECTIONS FOR WALL TYPES.

#### KEYNOTES - EXTERIOR ELEVATION

AE01 PREFINISHED ALUMINUM COPING

#### MATERIAL LEGEND

EX-FBR	EXISTING FACE BRICK - RED
FBR-1	ROMAN MAXIMUS - FACE BRICK BOD: COLUMBIA ROMAN MAXIMUS - ROMAN MAXIMUS
FBR-2	NORMAN - FACE BRICK BOD: GLEN-GERY - BLUE IRONSPOT VELOUR
TBR-1	MODULAR - THIN BRICK BOD: GLEN-GERY - GARRISON GRAY
TBR-2	MODULAR - THIN BRICK BOD: GLEN-GERY - BLUE IRONSPOT VELOUR
MP-1	PAC-CLAD - PROFILED METAL PANEL BOD: TRADITIONAL BLACK
MP-2	ALFREX - METAL PANEL BOD: CLASSIC WHITE
MP-3	ALFREX - METAL PANEL (WOOD GRAIN) BOD: TEAK
MP-4	LONGBOARD METAL SOFFIT BOD: LIGHT FIR
SPC-1	STAINED PRECAST CONCRETE PANEL BOD: BLACK

#### CONSULTANTS

#### PROJECT TITLE

### OAKDALE CITY HALL & POLICE EXPANSION

REVISION #	DATE	DESCRIPTION
	10/09/2025	SCHEMATIC DESIGN SET

#### CERTIFICATION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2730.01

#### SHEET TITLE

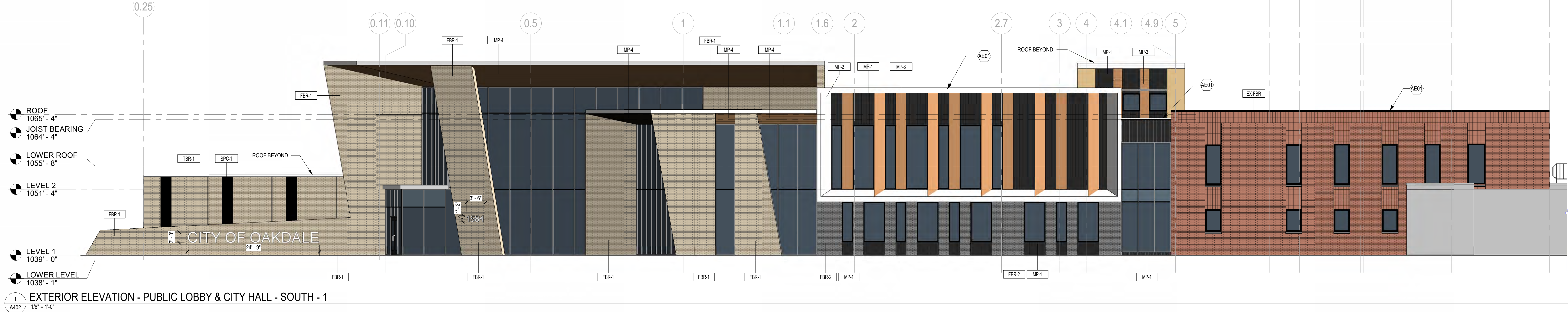
### OVERALL EXTERIOR ELEVATIONS

#### SHEET NUMBER

A401



Autodesk Docs://2730.01\_Oakdale PD-CH Reno & Exp/2730.01\_Oakdale-PD-CH\_A1\_2025.rvt  
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EXTERIOR ELEVATION GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. WHERE DIMENSIONS ARE NOT PROVIDED OR ARE UNCLEAR, REQUEST CLARIFICATION FROM THE ARCHITECT.
- REFER TO CIVIL DRAWINGS FOR GRADE ELEVATION AROUND THE PERIMETER OF THE BUILDING.
- REFER TO STRUCTURAL DRAWINGS FOR FOOTING DEPTHS AND TYPES.
- REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF HICSE BBS, ROOF OVERFLOW DRAINS, ETC.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURE TYPES AND LOCATIONS.
- REFER TO ARCHITECTURAL FLOOR PLANS AND WALL SECTIONS FOR WALL TYPES.

KEYNOTES - EXTERIOR ELEVATION

AE01 PREFINISHED ALUMINUM COPING

MATERIAL LEGEND

- EX-FBR EXISTING FACE BRICK - RED
- FBR-1 ROMAN MAXIMUS - FACE BRICK  
BOD: COLUMBIA ROMAN MAXIMUS - ROMAN MAXIMUS
- FBR-2 NORMAN - FACE BRICK  
BOD: GLEN-GERY - BLUE IRONSPOT VELOUR
- TBR-1 MODULAR - THIN BRICK  
BOD: GLEN-GERY - GARRISON GRAY
- TBR-2 MODULAR - THIN BRICK  
BOD: GLEN-GERY - BLUE IRONSPOT VELOUR
- MP-1 PAC-CLAD - PROFILED METAL PANEL  
BOD: TRADITIONAL BLACK
- MP-2 ALFREX - METAL PANEL  
BOD: CLASSIC WHITE
- MP-3 ALFREX - METAL PANEL (WOOD GRAIN)  
BOD: TEAK
- MP-4 LONGBOARD METAL SOFFIT  
BOD: LIGHT FIR
- SPC-1 STAINED PRECAST CONCRETE PANEL  
BOD: BLACK

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CONSULTANTS

PROJECT TITLE

OAKDALE CITY  
HALL & POLICE  
EXPANSION

REVISION #	DATE	DESCRIPTION
	10/09/2025	SCHEMATIC DESIGN SET

CERTIFICATION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2730.01

SHEET TITLE

OVERALL  
EXTERIOR  
ELEVATIONS

SHEET NUMBER

A402

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# RENDERINGS



# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





RENDERINGS



**CITY OF OAKDALE  
RESOLUTION NO. 2026-xx**

**A RESOLUTION APPROVING A SITE PLAN AMENDMENT FOR 1584 HADLEY AVENUE NORTH  
SUBJECT TO CONDITIONS**

At a meeting of the City Council of the City of Oakdale held on Tuesday, January 27, 2026, at Oakdale City Hall, 1584 Hadley Avenue North, Oakdale, Minnesota, with the following members present: Mayor Kevin Zabel; Councilmembers Kari Moore, Andy Morcomb, Gary Severson, and Katie Wrich, and the following members absent: None, the Oakdale City Council resolved:

**WHEREAS**, Don Theisen, on behalf of the City of Oakdale, requests a Site Plan amendment for the expansion of City Hall and the Police Department facility located at 1584 Hadley Avenue North, and

**WHEREAS**, the Site Plan amendment consists of a building expansion of approximately 27,141 square feet, along with associated infrastructure, and

**WHEREAS**, the Site Plan amendment is consistent with the 2040 Comprehensive Plan and meets Zoning Ordinance standards, and

**NOW, THEREFORE, BE IT RESOLVED** the City Council of the City of Oakdale hereby approves a Site Plan amendment for City Hall and the Police Department facility at 1584 Hadley Avenue North subject to the following conditions:

1. Provide details on the methods of screening for any rooftop utilities.
2. Add a roof to the external trash enclosure area.
3. Obtain approval of the site civil construction plans by the City Engineer.
4. Obtain permits and approvals from the Ramsey Washington Metro Watershed District for stormwater management provisions.

Voting in Favor: Mayor Zabel; Councilmembers Moore, Morcomb,  
Severson, and Wrich

Voting Against: None

Resolution duly seconded and passed this 27<sup>th</sup> day of January 2026.

\_\_\_\_\_  
Kevin Zabel, Mayor

\_\_\_\_\_  
Sara Ludwig, City Clerk